

Landmarks Preservation Commission

Planning and Development Services Department



747 Market Street | Room 345 | Tacoma WA 98402-3793 | 253.591.5220

APPLICATION FOR DESIGN REVIEW

Permit Number: HDR25-0005

PROPERTY INFORMATION

Building/Property Name:	696 SF detached garage
Building/Property Address:	805 N GRANT AVE
Historic/Conservation District:	North Slope
Applicant's Name:	Jeffrey Bones
Applicant's Address:	1312 18th St NW Puyallup, WA 98371
Applicant's Phone:	253-224-5631
Applicant's Email:	jeffbones-ent@comcast.net
Property Owner's Name:	HOWSER ALICIA L

PROJECT SCOPE AND DESCRIPTION

Project Details

Application Type:	Residential
Type of Work:	Detached Garage
Estimated Valuation:	40000

Application Checklist

Features to be Modified:

29 ft x 24 ft detached garage, 5 foot setback from alley in back.

Program of Work:

Specifications of Materials and Finishes:

All construction and materials to match house as close as possible, see description on plans.

Building/Roofing Information

Roof Height: 14
Roof Pitch: 4
Roof Material: comp shingle
Size of Construction: 696 SF - 29' x 24'

Proposed Material:

1 x 4 cedar trim sides and top, 1 x 2 on edge, 2x sill. Siding to be hardi, lap, 5" reveal, smooth side out, no corner trim.

Exterior Material:

Solid wood, exterior door, 6 panel to match house.

Window Information

Window Types:

single hung, top perimeter grid to match house

Window Trim:

1x4 sides and top, 2x sill, 1x2 on edge at sides and top, to match house.

Window Material:

vinyl frame, color to match house, single hung, top perimeter grid to match house.

Window Locations:

one of east side, one on south side

Door Information

Door Types:

3 ft exterior, 6 panel solid exterior door

Door Materials:

Solid wood door to match house.

Door Locations:

one on south side towards house.

Sign/Awning Information

Existing Signage: No

Sign Dimensions:

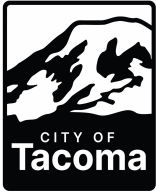
Sign Material:

Logo and Letter Size:

Lighting Specifications:

Removing or Relocating Signage:

Method of Attachment:



Submittal Information

Permit: HDR25-0005

Applied: 02/10/2025

Planning & Development Services

747 Market St.

Tacoma, WA 98402

ACCOUNTING

SAP Cost Object

ADDITIONAL INFORMATION

Door Locations	one on south side towards house.
Door Materials	Solid wood door to match house.
Door Types	3 ft exterior, 6 panel solid exterior door
Exterior Material	Solid wood, exterior door, 6 panel to match house.
Proposed Material	1 x 4 cedar trim sides and top, 1 x 2 on edge, 2x sill. Siding to be hardi, lap, 5" reveal, smooth side out, no corner trim.
Roof Height	14
Roof Material	comp shingle
Roof Pitch	4
Size of Construction	696 SF - 29' x 24'
Window Locations	one of east side, one on south side
Window Material	vinyl frame, color to match house, single hung, top perimeter grid to match house.
Window Trim	1x4 sides and top, 2x sill, 1x2 on edge at sides and top, to match house.
Window Types	single hung, top perimeter grid to match house

APPLICATION CHECKLIST

Elevation Drawings	CHECKED
Features to be Modified	29 ft x 24 ft detached garage, 5 foot setback from alley in back.
Illustrations	CHECKED
Material Samples	CHECKED
Photographs	CHECKED
Site Plan	CHECKED
Specifications of Materials and Finishes	All construction and materials to match house as close as possible, see description on plans.

HISTORIC DISTRICT

District	North Slope
Guideline Certification	CHECKED

PARCEL AND ZONING INFORMATION

Accessibility Index	High
BLDINSPAREA	North
City Council District	2
Economy Index	Low
Education Index	Very High
Erosion Control Inspector	Jenna Warner
Historic District	Y
Land Use Designations	Low-Scale Residential
Liquefaction Susceptibility	very low
Livability Index	Moderate
Neighborhood Council District	North End
Overall Equity Index	High
SITEINSPAREA	North
Slopes - Steep and Stability	15% to 25%
Wastewater Subbasin	N04
Wind Zone	52
Zoning District	HMR-SRD-HIST

PROJECT DETAILS

Estimated Valuation	40000
Scope of Work	Build a 29 ft x 24 ft detached garage per plans submitted and approved BLDRN24-0286 NOTE ON PLANS: All work, design, materials to match house as close as possible.

REVIEW TYPE

Application Type	Residential
Type of Work	Detached Garage

SIGN/AWNING INFORMATION

Existing Signage	No
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Contacts:

Contact Type	Name	Email
Owner	HOWSER ALICIA L	alicia.howser8@gmail.com
Owner	Jeffrey Miles Bones	jeffbones-ent@comcast.net

Date: 01-24-2025

BLDRN24-0286 – 805 N Grant Ave

Response letter to COMMENT MEMO – First Review 1-15-2025

Revisions required – Corrections made – Please send to:

Historic Preservation: Susan Johnson - sjohnson7@cityoftacoma.org

Building Residential: James Kim – jkim@cityoftacoma.org

Land Use: Antonio Vasquez – tvasquez@cityoftacoma.org

SITE PLAN: Removed shed so % calculations work for new garage less than 85% of house footprint – Set garage back from alley 5 ft instead of 3 ft – Roof drains noted and direction of runoff. Only the eave needs to be fire rated as labeled on plan.

BUILDING DESIGN: Added small hip framing at each end of the roof to match the house. Reduced the eaves on the 2 sides to 18". Specified what wall is to be fire rated and materials to be used. Specified what eave is to be fire rated and materials to be used.

Added labeling for (BWL) and shear wall nailing schedules on floor plan, notes on page 2 for calculations.

Revised siding and trim details, windows and doors, to match the house as close as possible. Roofing to match house as well.

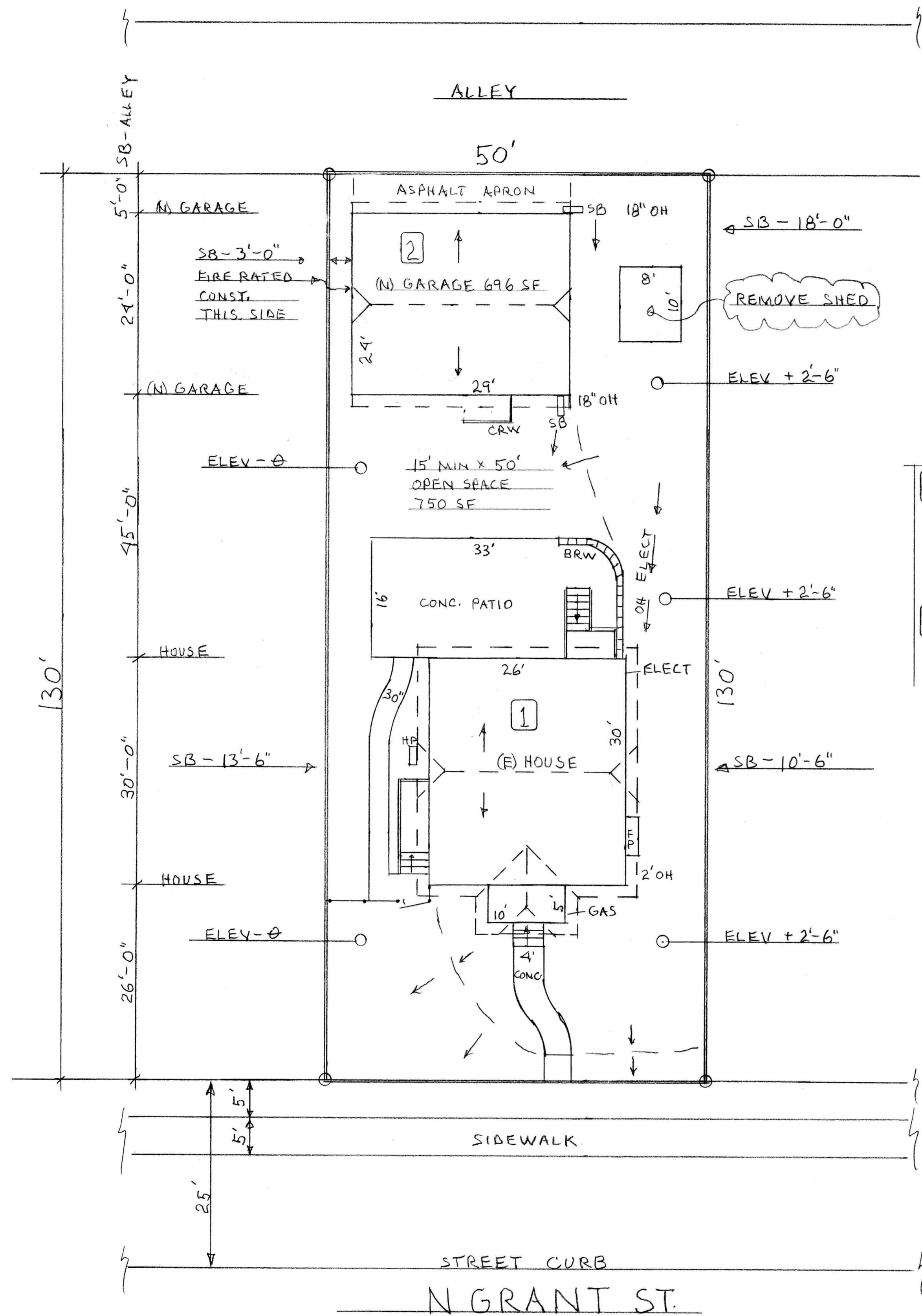
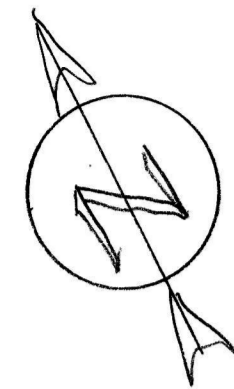
HISTORIC DISTRICT: Changed design to match house as close as possible – Roof hips – Siding and trim to match house in materials and design – Windows and doors to match house in design. All labeled on plans in multiple areas.

Uploaded new combined pages 1-5 for 2nd review. Please submit for Historic District permit or let me know what I have to do for the Owner.

Jeff Bones, Draftsman of plans for Owner. Jeff Bones Enterprises.

253-224-5631

Jeffbones-ent@comcast.net



COVER PAGE

TABLE OF CONTENTS:

- PAGE 1) SITE PLAN SITE INFORMATION LEGAL DESCRIPTION
- PAGE 2) GENERAL CONSTRUCTION IRC CODES WSEC INFORMATION WINDOW AND DOOR SCHEDULE
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- PAGE 4) SECTION DETAILS S-I
- PAGE 5) ELEVATIONS N S E W

WASHINGTON STATE ENERGY COMPLIANCE: (SEE GENERAL NOTES WSEC)

GENERAL INFORMATION:

PROJECT ADDRESS: 805 N GRANT STREET, TACOMA, WA 98403 - 1030
 PARCEL ID: 2038330070
 LEGAL DESCRIPTION:
 Section 31 Township 21 Range 03 Quarter 44 : NEW TACOMA L 9 & 10 B 3833 INC PART ALLEY VAC
 OWNERS NAME AND ADDRESS: ALICIA HOWSER 805 N GRANT STREET, TACOMA, WA 98403 - 1030
 OWNERS CONTACT INFORMATION: CELL 360 995 3376 EMAIL ALICIA.HOWSER8@GMAIL.COM
 PROJECT NAME: "BUILD 696 SF DETACHED GARAGE"

DESCRIPTION OF ALL PROPOSED WORK:

BUILD A 696 SF DETACHED GARAGE IN THE BACK PORTION OF THE LOT, ON THE ALLEY.

NOTE: PROPERTY IS IN THE NORTH SLOPE HISTORICAL DISTRICT ALL CONSTRUCTION DETAILS TO MATCH THE EXISTING HOUSE AS CLOSE AS POSSIBLE

SITE INFORMATION:

LOT SQ FT: 6500 SF
 EXISTING HOME SQ FT (FOOTPRINT INCLUDES PORCH): 780 SF
 OTHER STRUCTURES: SHED 80 SF TO BE REMOVED.
 CONCRETE FLAT WORK: 735 SF
 NEW DETACHED GARAGE: 696 SF
 NEW CONCRETE FLAT WORK: 0
 TOTAL IMPERVIOUS SURFACES WITH IMPROVEMENTS: 2211 SF
 TOTAL IMPERVIOUS SURFACES % OF LOT SQ FT: 34 % OF LOT
 TOTAL NEW SQ FT OF HOME WITH IMPROVEMENTS: UNCHANGED

WATER INFILTRATION SYSTEM OR STORM WATER RETENTION:

EXISTING ONSITE SYSTEM: ROOF GUTTERS / DOWNSPOUTS / SPLASH BLOCKS
 NEW SYSTEM: GUTTERS / DOWNSPOUTS / SPLASH BLOCKS ON NEW GARAGE.

UTILITIES:

EXISTING UTILITIES: USE ALL EXISTING UTILITIES ON SITE

CONSTRUCTION ENTRANCE: (IF APPLICABLE)
SILT FENCING: (IF APPLICABLE)

- | | |
|---|--|
| 1 | (E) HOME 1.5 STORY W/BASEMENT
1,149 - 4 BED / 2.25 BATH
FOOTPRINT - HOUSE - 780 - COV. PORCH -
50 = TOTAL FOOTPRINT - 830 SF
830 SF x 85% = 705 MAX SF FOR
(N) GARAGE TMC |
| 2 | (N) PROPOSED GARAGE 24' x 29'
696 SF
SB = ROOF DRAIN - SPLASH BLOCK |

PAGE TITLE: SITE PLAN - SITE INFORMATION - LEGAL DESCRIPTION - SCALE - 1" = 10' - 0"

PROPERTY ADDRESS: 805 N GRANT STREET, TACOMA, WA 98403 1030 - PIERCE COUNTY - (E) 1144 SF + 830 BASEMENT SF
 4 BED / 2.25 BA 1.5 STORY

JOB TITLE: "BUILD 696 SF DETACHED GARAGE"
 OWNER: ALICIA HOWSER
 OWNERS ADDRESS: 805 N GRANT STREET,
 TACOMA, WA 98403
 PARCEL ID: 2038330070 - PROPERTY TYPE: SFR
 LEGAL DESCRIPTION: SEE PAGE - 1
 DATE OF PLANS: 12 10 - 2024
 PLANS BY: JEFF BONES ENTERPRISES
 APPROVED SIGNATURE - JEFF BONES - *Jeff Bones*
 PAGE - 1 OF - 5

PAGE 2: - GENERAL NOTES AND REQUIREMENTS FOR ALL NEW WORK

ALL NEW WORK TO COMPLY WITH 2021 IRC, IMC, UPC AND 2023 NEC, (2021 IBC IF APPLICABLE)
TO COMPLY WITH: 2024 WSEC (WASHINGTON STATE ENERGY COMPLIANCE) CODES. 2024 WA AMENDMENTS TO: IRC, IMC, UPC.
TO ALSO COMPLY WITH: ALL LOCAL, CITY, AND COUNTY CODES.

(1) - CONCRETE: (PER 2021 IRC, CHAPTER 4)

CONCRETE FOOTINGS AND WALLS TO MEET OR EXCEED PRESCRIPTIVE REQUIREMENTS IN TABLE R403.1.
ISOLATED FOOTINGS (PIERS) PERMITTED IN: R403.1.3.6.

ALL CALCULATIONS ARE BASED ON IRC MINIMUM STANDARDS OF 2500 PSI AT 28 DAYS, 5.5 SACKS OF PORTLAND CEMENT PER YARD, 5" SLUMP MAX.

(2) - REINFORCING STEEL: GRADE 40 U.N.O. ALL LAPS TO BE MINIMUM 40 TIMES THE DIAMETER. MINIMUM CLEARANCE ON SIDES 2", BOTTOM 3". DOWELS TO BE 6" INTO EXISTING CONCRETE WITH SIMPSON EPOXY. NO SPECIAL INSPECTIONS ARE REQUIRED.

(3) - LUMBER: (PER 2021 IRC TABLES)

BEAMS, GIRDERS: DOUGLAS FIR #2 OR BETTER.
FLOOR JOISTS, RAFTERS: DOUGLAS FIR #2 OR BETTER.
STUDS: KD DOUG FIR OR HEM FIR #2 OR BETTER.
MISC. FRAMING: DOUG FIR OR HEM FIR #2 OF BETTER.

(4) - HEADER SIZES BEARING WALLS: (PER 2021 IRC TABLES) (EXTERIOR TABLE R602.7 (1) INTERIOR TABLE R602.7 (2))

USE REQUIRED INFORMATION TO SIZE BEAM SNOW LOAD BUILDING WIDTH SUPPORTING FLOORS AND ROOF NUMBER OF JACK STUDS AND FULL STUDS.

BEAM SIZING CAN BE MULTIPLE 2X NAILED TOGETHER OR FULL SIZE.

POSTS CAN BE MULTIPLE 2X STUDS NAILED TOGETHER OF FULL SIZE.

2 x 6 WALLS 6x6 POST --- 2 X 4 WALLS 4X4 POSTS (SEE FLOOR PLAN FOR LOCATIONS)

(4.1) GLU LAM BEAMS LVL ENGINEERED BEAMS:

SEE BEAM SIZING CALCULATIONS ON JOIST FRAMING OR FOUNDATION PLAN.

(5) - FRAMING: (ALL WOOD FRAMING) (2021 IRC CHAPTER 6)

ALL FRAMING, METHODS, NAILING, NOTCHING, BORING, ETC, TO BE ACCORDING TO IRC 2018, TABLES AND SPECIFICATIONS, R602.3(1).

FASTENING SCHEDULES: TABLE R602.3 (1) SHEATHING: TABLE R602.3 (3)

(6) BRACED WALL LINES (BWL) PRESCRIPTIVE METHOD PER 2021 IRC. DESIGNS COMPLY WITH THE FOLLOWING:

CONTINUOUS SHEATHING (CS) BRACED WALL PANEL (BWP):

NOTE: ALL EXTERIOR WALLS (NEW CONSTRUCTION) TO BE CONTINUOUS SHEATHING (CS), (BWL) AND (BWP).

TABLE R602.10.3(1) ----- TABLE R602.10.3(3)

ALTERNATE BRACED WALL PANELS (ABW): MAY SUBSTITUTE FOR 4 FT SECTIONS OF (BWL) AND (BWP).

TABLE R602.10.1.3 SDC D0, D1, D2 ----- TABLE R602.10.3 (3) SDC D0, D1 ----- R602.10.3 (4) SEISMIC ADJUSTMENT FACTORS. ----- TABLE R602.10.5 ADJUSTMENT FOR CLEAR OPENING HEIGHTS.

(PFH) (SW-2): PORTAL FRAMING WITH HOLD DOWNS AT GARAGE.

TABLE R602.10.5

SHEAR WALL (SW-2): 1/2" APA RATED SHEATHING PER IRC, CDX PLYWOOD OR EQUIVLENT. NAIL WITH 8D NAILS 4" ON ALL EDGES, 8" FIELD.

SHEAR WALL (SW-1) AT (BWL) (BWP): 1/2" APA RATED SHEATHING PER IRC, CDX PLYWOOD OR EQUIVLENT. NAIL WITH 8D NAILS, 6" ON ALL EDGES, 10" FIELD.

NOTE: ALL NAILING INTO PT LUMBER TO BE HDG NAILS.

(BWL) 1: SW WALL (BWL) LENGTH 29'-0" (BWP) LENGTH 22'-0" REQUIRED LENGTH 5.1 **SHEAR WALL (SW-1)**

(BWL) 2: NE WALL (BWL) LENGTH 29'-0" (BWP)-(PFH) LENGTH 11'-0" REQUIRED LENGTH 6.0 **SHEAR WALL (SW-2)**

(BWL) A: NW WALL (BWL) LENGTH 24'-0" (BWP) LENGTH 24'-0" REQUIRED LENGTH 5.1 **SHEAR WALL (SW-1)**

(BWL) B: SE WALL (BWL) LENGTH 24'-0" (BWP) LENGTH 20'-0" REQUIRED LENGTH 5.1 **SHEAR WALL (SW-1)**

(7) - HARDWARE:

ALL HARDWARE SIMPSON OR EQUAL. (SEE PLANS FOR LOCATIONS)

HDG NAILS REQUIRED FOR ALL NAILING INTO PRESSURE TREATED LUMBER.

NOTE: ALL HOLD DOWNS, ANCHOR BOLTS, AND FLOOR TO FLOOR STRAPS LISTED ON FOUNDATION PLAN.

(8) - FLOOR AND ROOF SHEATHING:

INSTALL SHEETS PERPENDICULAR TO FRAMING, STAGGER SHEETS 4 FT.

1/4 PLYWOOD SUBFLOOR GLUE AND NAIL WITH 8D, 6" ON EDGES, 10" FIELD, MIN.

APA RATED EXT, 1/2 PLYWOOD ROOF SHEATHING, OR EQUAL. NAIL WITH 8D, 6" EDGES, 10" FIELD, MIN. NAIL 6" AT ALL SUB FACIA BOARDS, EAVE BLOCKING, AND OVER GABLE END WALLS OR (BWL).

(9) - ELECTRICAL:

NEW: SEE NEW FLOOR PLAN NOTES.

(10) - PLUMBING:

NEW: SEE NEW FLOOR PLAN NOTES.

(11) - HVAC:

NEW: SEE NEW FLOOR PLAN NOTES.

(12) DESIGN CRITERIA: U. N. O.

CLIMATE ZONE: KING, PIERCE, THURSTON, COUNTIES ZONE 4C.

SEISMIC / WIND ZONE AREA: SDC D1.

SNOW LOAD ZONE: 20 PSF.

ASSUMED NATIVE, UNDISTURBED SOILS COMPACTION - MINIMUM OF 1500 PSF.

FROST ZONE: MINIMUM 12"

(13) PRESCRIPTIVE DESIGN PATH: (PER 2021 IRC)

FOUNDATION: SEE FOUNDATION PAGE AND SECTION DETAILS PAGE.

FLOOR FRAMING: SEE FLOOR FRAMING PAGE AND SECTION DETAILS PAGE.

ROOF FRAMING: SEE ROOF FRAMING PAGE AND SECTION DETAILS PAGE.

WALL FRAMING: SEE SHEAR WALL, BWL, SCHEDULE ABOVE AND NOTED WALLS ON FLOOR PLANS.

ROOF FRAMING NOTES: (SEE ALL GENERAL NOTES ON PG-2) (2021 IRC CHAPTER 8 (ALL) - TABLE R802.4.1 (1) ---- R802.4.1 (2))
GROUND SNOW LOAD 20 PSF, DEAD LOAD 10 PSF- U.N.O.

SEE PAGE - 3 FOR ROOF PLAN

(1) - RAFTERS AND TRUSSES: DF # 2 OR BETTER U. O. N. SIZES AS SHOWN.

TRUSS MFG TO PROVIDE ALL ENGINEERING CALCULTIONS, DESIGN, PLANS, AND LAY OUT INSTRUCTIONS AS AN ADDUNDUM TO THESE PLANS.

ATTACH EACH TRUSS OR RAFTER TO TOP PLATE AT EXT. WALLS WITH H-1. (1) 10D TOE, NAIL EACH SIDE INTO TOP PLATE.

GABLE END TRUSSES AT BRACED WALL LINE, (BWL) (SW-1): TOE, NAIL TO TOP PLATE WITH 10D NAILS AT 6" OC. OR 12" OC WITH TRUSS NAILED TO CEILING BACKING BOARD, 16" OC AND BACKING BOARD NAILED TO WALL 16" OC.

BLOCKING: SOLID VERTICAL BLOCKING AT EXTERIOR (BWL), (2) 10D NAILS AT EACH END INTO RAFTER OR TRUSS, (3) 10D TOE, NAILS INTO WALL TOP PLATE, OR 8" OC.
SOLID BLOCKING AT RIDGE, (2) 10D NAILS AT EACH END.

(2) FACIA BOARDS SUB FACIA OUTRIGGERS: FACIA BOARDS TO BE 5/4 X 8 CEDAR OR PWW. SUB FACIA ON ALL EAVES 2X6 RIPPED AT ANGLE OF ROOF.

INSTALL ROOF SHEATHING OVER THE TOP.

OUTRIGGERS ON GABLE ENDS, 2x6, 48" O.C. BACK ONE TRUSS OR RAFTER.

(3) - BRACING: 2X6 ON EDGE NAILED TO 2X4 FLAT TO BE NAILED TO EACH CEILING JOIST OR TRUSS DOWN THE MIDDLE OR MIDSPAN. 2X6 ON A 45 DEGREE ANGLE AT BOTH GABLE ENDS. NAIL TO EACH VERTICAL TRUSS MEMBER WITH (3) 10D NAILS. NAIL TO TOP RIDGE BLOCK WITH (4) 10D NAILS. NAIL TO BOTTOM 2X6 (ON EDGE) WITH (4) 10D NAILS.

(4) - ROOF SHEATHING: 1/2 CDX PLYWOOD APA RATED SHEATHING. INSTALL PERPENDICULAR TO RAFTERS. STAGGER SHEETS 4 FT. 5/8 AC PLYWOOD OVER EXPOSED EAVES.
ROOF DIAPHRAGM BLOCKING BRACED WALL LINE, (BWL): NAIL ROOF SHEATHING TO EAVE, BLOCKING AND SUB FACIA AT ALL (BWL) WITH 8D NAILS, 6" OC.

(5) - ATTIC VENTILATION: PER IRC:

NOTE: 1 HOUR FIRE RATED EAVE ON ALLEY SIDE, NO VENTS.

1 SQ FT PER 300 SQ FT OF ATTIC AREA.

EAVE VENTS: (4) 1-1/2 HOLES IN EACH BLOCK. AND / OR SOFFIT VENTS AS SHOWN.

NUMBER OF VENTED EAVE BLOCKS (7 SI PER) (14) X 7 = 1.36 SF.

ROOF VENTS: 8" X 8" (64 SI PER) (4) X 64 = 1.78 SF.

TOTAL SQ FT OF ATTIC 696 SF

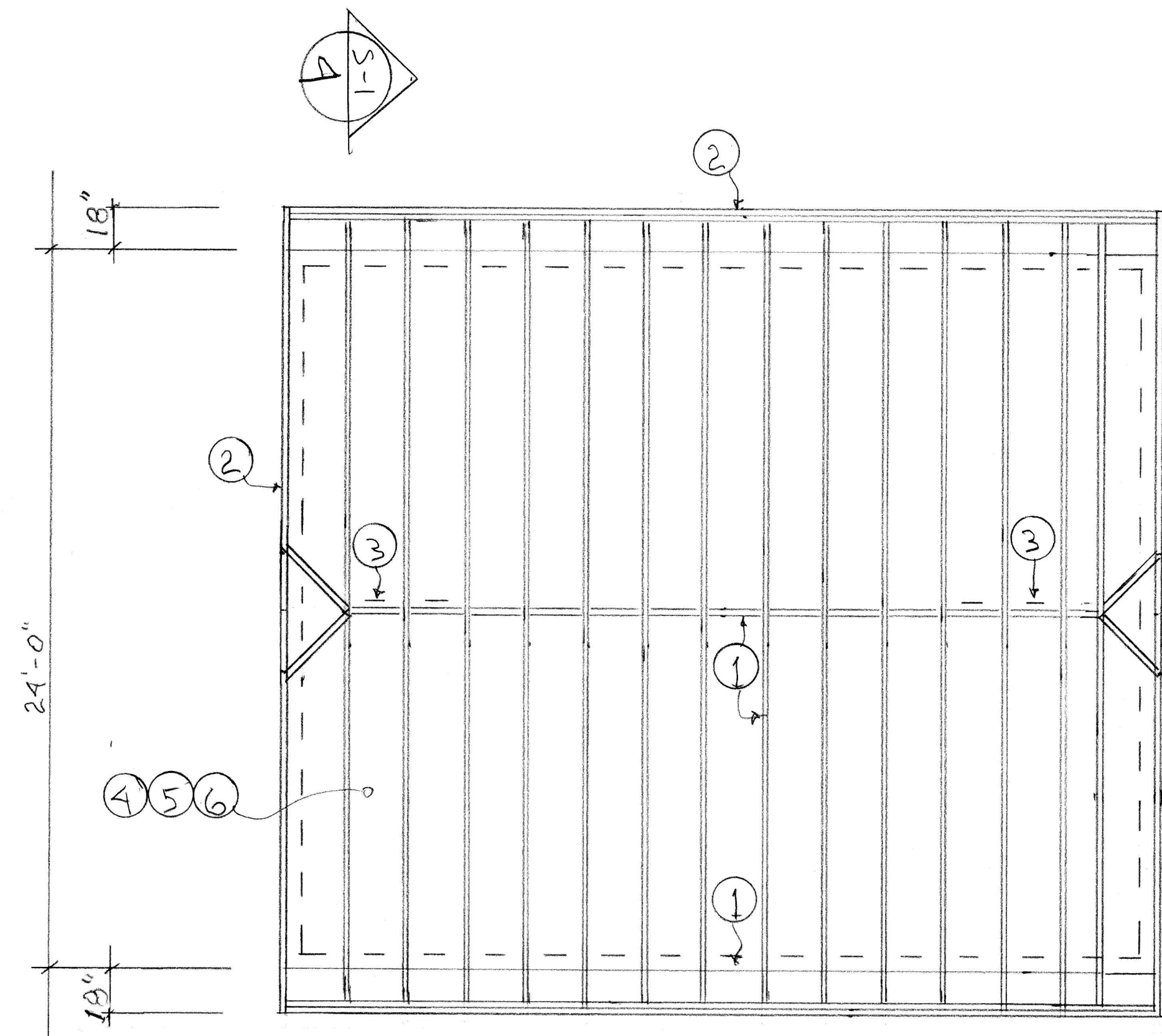
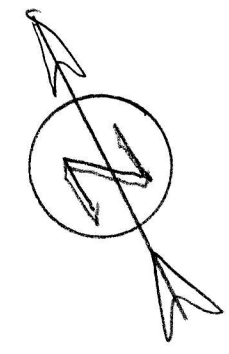
TOTAL SQ FT OF VENTS REQ. 2.32 SF

TOTAL SQ FT OF VENTILATION 3.14 SF

(6) - ATTIC INSULATION: (OPTIONAL IN GARAGE) R-60, R-49 FOR VAULTED CEILINGS. INSULATE ATTIC ACCESS COVER AND WEATHERSTRIP. INSTALL BAFFLES AT VENTS. MAINTAIN A 1" AIR SPACE OVER THE TOP OF INSULATION FOR VENTILATION TO TOP ROOF VENTS.

PAGE TITLE: GENERAL CONSTRUCTION IRC CODES - WSEC INFORMATION -
PROPERTY ADDRESS: 805 N GRANT STREET, TACOMA, WA 98403 1030 - PIERCE COUNTY - (E) 1144 SF + 830
BASEMENT SF 4 BED / 2.25 BA 1.5 STORY

JOB TITLE: "BUILD 696 SF DETACHED GARAGE"
OWNER: ALICIA HOWSER
OWNERS ADDRESS: 805 N GRANT STREET,
TACOMA, WA 98403
PARCEL ID: 2038330070 - PROPERTY TYPE: SFR
LEGAL DESCRIPTION: SEE PAGE - 1
DATE OF PLANS: 12 10 - 2024
PLANS BY: JEFF BONES ENTERPRISES
APPROVED SIGNATURE - JEFF BONES - *Jeff Bones*
PAGE - 2 OF - 5



ROOF FRAMING SCALE - 1/4" = 1'-0"
SEE ALL ROOF FRAMING NOTES ①-⑥

FOUNDATION NOTES: (SEE ALL GENERAL NOTES PG-2) (2021 IRC CHAPTER 4)
SEE ALL NOTES ON PAGE 2 FOR CONCRETE AND REBAR SPECIFICATIONS.
(IRC R401.4.1) ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL. MINIMUM 1500 PSF.
ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

(1) **CONCRETE FOOTINGS: (R403.1(1))**
FOOTINGS: 14" WIDE X 8" HIGH. CONTINUOUS FOOTING AT GARAGE DOOR.
(2) #4 BARS HORIZONTAL, 3" ABOVE GROUND.
(2) #4 BARS VERTICAL, L BENDS 4 FT O.C. ALTERNATE BENDS.
ISOLATED FOOTINGS (PIERS): PERMITTED IN: R403.1.3.6
DECK AND COVERED PORCH PIERS: TABLE R507.3.1

(1-1) **CONCRETE SLABS ON GRADE: TABLE R403.1 (3)**

(2) **CONCRETE WALLS: (R404 ALL)**
FOUNDATION WALLS: 8" WIDE AS SHOWN ON PLANS.
(2) #4 BARS LAPS ON ALL REBAR TO BE 40 X DIAMETER MINIMUM.

(3) - **MOISTURE BARRIER UNDER SLAB: 6 MIL PLASTIC, LAP JOINTS 6" AND TAPE, TO COVER ALL GROUND AREA.**
(4) - **CRAWL AREA VENTILATION PER 2021 IRC: - N/A**
(5) - **CRAWL ACCESS: - N/A**

(6) **HARDWARE:**
ANCHOR BOLTS: 1/2" X 10", 4 FT. OC MAX. WITHIN 12" OF ALL PLATE ENDS. 3" X 3" HDG PLATE WASHERS. MINIMUM 7" EMBEDMENT.

(7) **MINIMUM HOLD DOWN FORCE: (AT BWL)**
1 STORY 1800 LBS. 2 STORY 3000 LBS.
SSTB16 3780 LBS. HDU4-SDS2.5 3285 LBS.
NOTE: ALL HOLD DOWNS, ANCHOR BOLTS, AND FLOOR TO FLOOR STRAPS LISTED ON FOUNDATION PLAN.

FLOOR PLAN GENERAL NOTES: (SEE ALL GENERAL NOTES ON PAGE 2)
ALL NEW WORK TO COMPLY WITH 2021 IRC, IMC, UPC AND 2023 NEC, (2021 IBC IF APPLICABLE)
TO COMPLY WITH: 2024 WSEC (WASHINGTON STATE ENERGY COMPLIANCE) CODES. 2024 WA AMENDMENTS
TO: IRC, IMC, UPC,
TO ALSO COMPLY WITH: ALL LOCAL, CITY, AND COUNTY CODES.

NOTE TO OWNER AND CONTRACTOR:
ALL MEASUREMENTS STATED ON THE PLANS ARE DEEMED RELIABLE BUT NOT GUARANTEED. OWNER AND CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS BEFORE STARTING WORK.

WALL FRAMING:
===== (NOT FILLED IN WALL LINES) = EXISTING 2X4 OR 2X6 WALLS, 16" OC FRAMING.

===== (FILLED IN WALL LINES) = NEW 2X6 EXTERIOR, AND OR 2X4 INTERIOR WALLS, 16" OC FRAMING.

////////// OR CLOUDED AREAS = WALLS AND OR AREAS TO BE REMOVED OR ALTERED.

NEW WALLS ON CONCRETE TO HAVE A PT BOTTOM PLATE. ALL NAILS INTO PT LUMBER TO BE HDG. BOTTOM PLATE ANCHORED TO CONCRETE WITH 1/2" CONCRETE ANCHORS, MAX. 4 OC AND < 13" FROM ALL ENDS.

BEAMS AND HEADERS 2021 IRC R602.7:
EXTERIOR BEARING WALLS USE TABLE R602.7 (1) -- INTERIOR BEARING WALLS USE TABLE R602.7 (2) -- OPEN PORCHES USE TABLE R602.7 (3)
POSTS AS SHOWN ON PLANS: IN 2X4 WALLS, 4 X 4 OR (2) 2 X 4S IN 2X6 WALLS, 4 X 6 OR (2) 2 X 6S 6 X 6 OR (3) 2 X 6S.

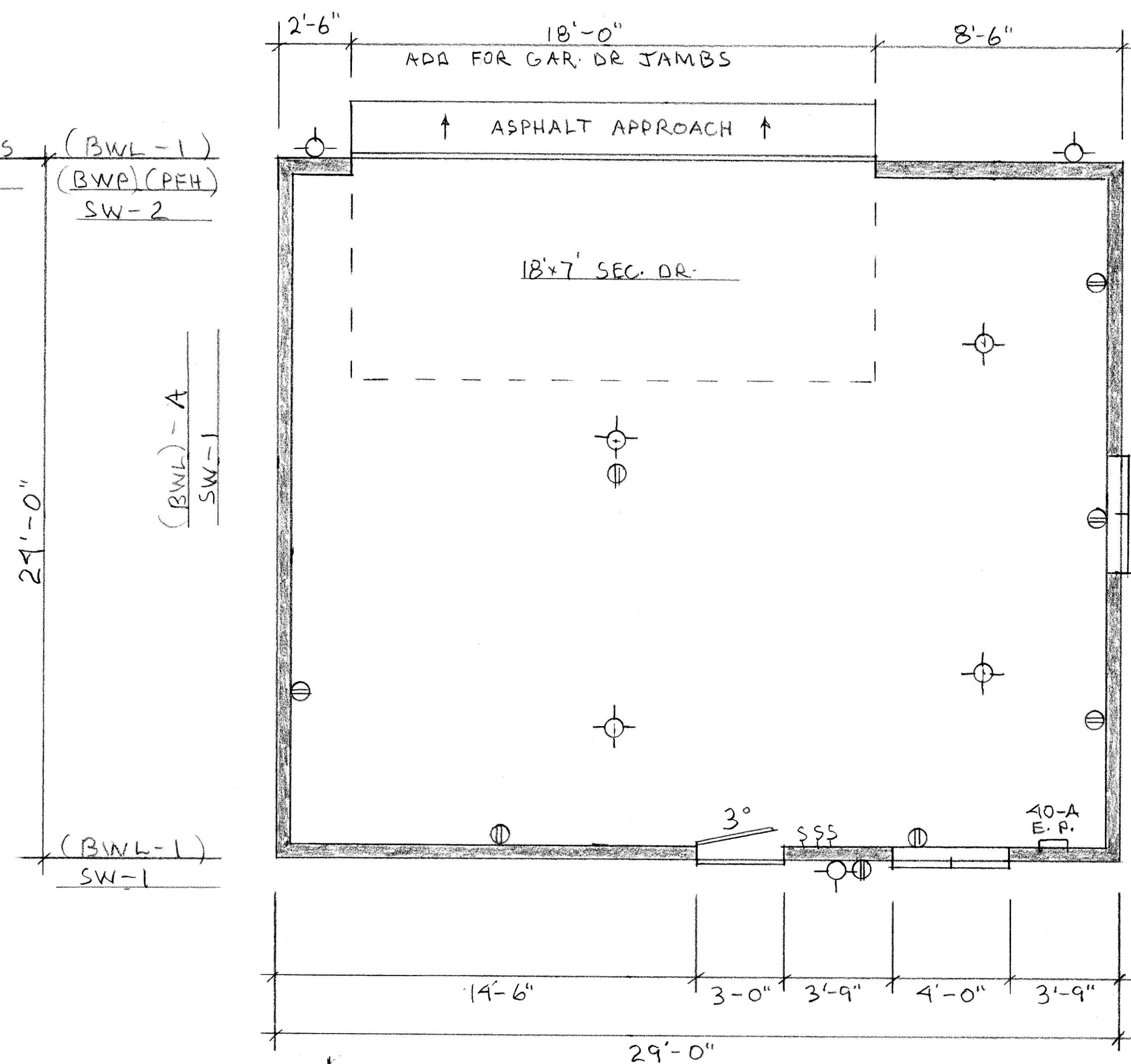
NOTE: ALL EXTERIOR WALLS (NEW CONSTRUCTION) TO BE CONTINUOUS SHEATHING, (BWL) AND (BWP). SEE ALL GENERAL NOTES ON PAGE 2.
(BWL) (BWP) (SW-1): 1/2" APA RATED SHEATHING PER 2021 IRC. CDX PLYWOOD OR EQUIVALENT. NAIL WITH 8D NAILS, 6" ON ALL EDGES, 10" FIELD.
(PFH) (SW-2): PORTAL FRAMING WITH HOLD DOWNS AT GARAGE.
1/2" APA RATED SHEATHING PER IRC, CDX PLYWOOD OR EQUIVALENT. NAIL WITH 8D NAILS 4" ON ALL EDGES, 8" FIELD.
NOTE: ALL NAILING INTO PT LUMBER TO BE HDG NAILS.

ELECTRICAL: (ALL NEW WORK TO COMPLY WITH 2023 NEC)
-O- = SURFACE MOUNT LIGHT FIXTURE. =O= = ELECTRICAL RECEPTACLE. - RECESSED, LED LIGHT FIXTURE = O / RC.
SA = SMOKE ALARM ALL BEDROOMS AND HALLWAYS OF EACH FLOOR. IN NEW CONSTRUCTION OR COMPLETE REMODELS, ALL SA TO BE LINKED TOGETHER.
SA / CO = SMOKE ALARM AND CARBON MONOXIDE ALARM. IN HALLWAYS OF EACH FLOOR, VISIBLE FROM EACH BEDROOM.
NOTE: IF MORE THAN 50% OF LIGHT FIXTURES ARE BEING REPLACED THEN 90% OF NEW FIXTURES TO BE: LED OR CFL TYPE. 2021 WSEC R404.1
NEW WORK: 40 AMP SUB PANEL AND BREAKERS CIRCUIT WIRING

WINDOWS AND DOORS:
NOTE: ALL WINDOWS AND DOORS TO MATCH THE DESIGN OF THE EXISTING HOUSE AS CLOSE AS POSSIBLE.
(2) - 4-0 X 4-0 SINGLE HUNG TOP HALF WITH PERIMETER GRIDS TO MATCH HOUSE.
(1) 3-0 X 6-8 SOLID CORE, PRE-HUNG, EXTERIOR DOOR WITH RAISED PANEL DESIGN TO MATCH HOUSE. 18 X 7 SECTIONAL, GARAGE DOOR WITH RAISED PANEL DESIGN AND TRANSOM WINDOWS.

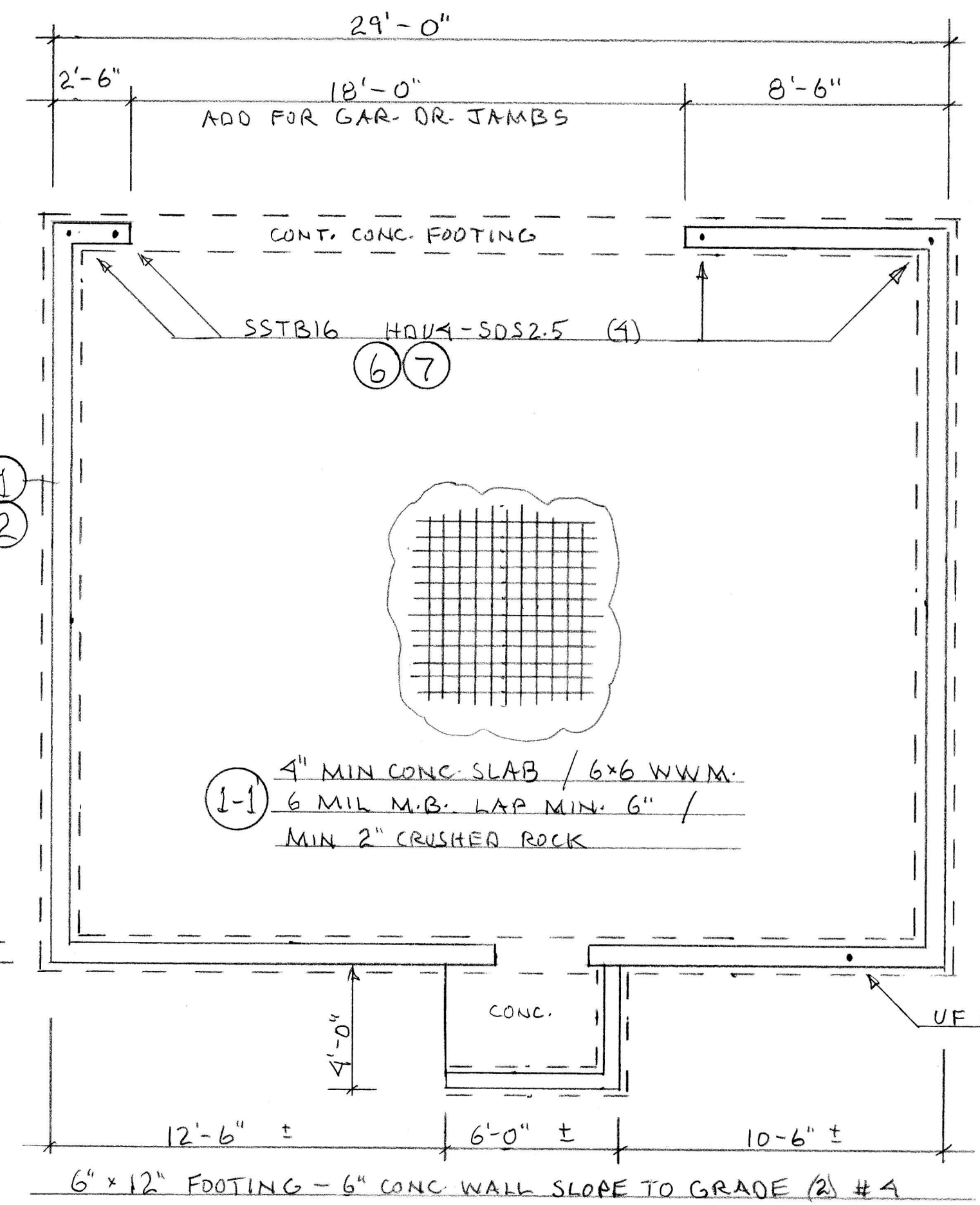
ALL ROOF FRAMING NOTES 1 - 7 ON PAGE - 2

ALL (BWL) NOTES ON PG-2



(BWL-1) (BWP)(PFH) SW-2
(BWL)-A SW-1
(BWL-1) SW-1

(BWL-2) (BWP)(PFH) SW-2
(BWL)-B SW-1



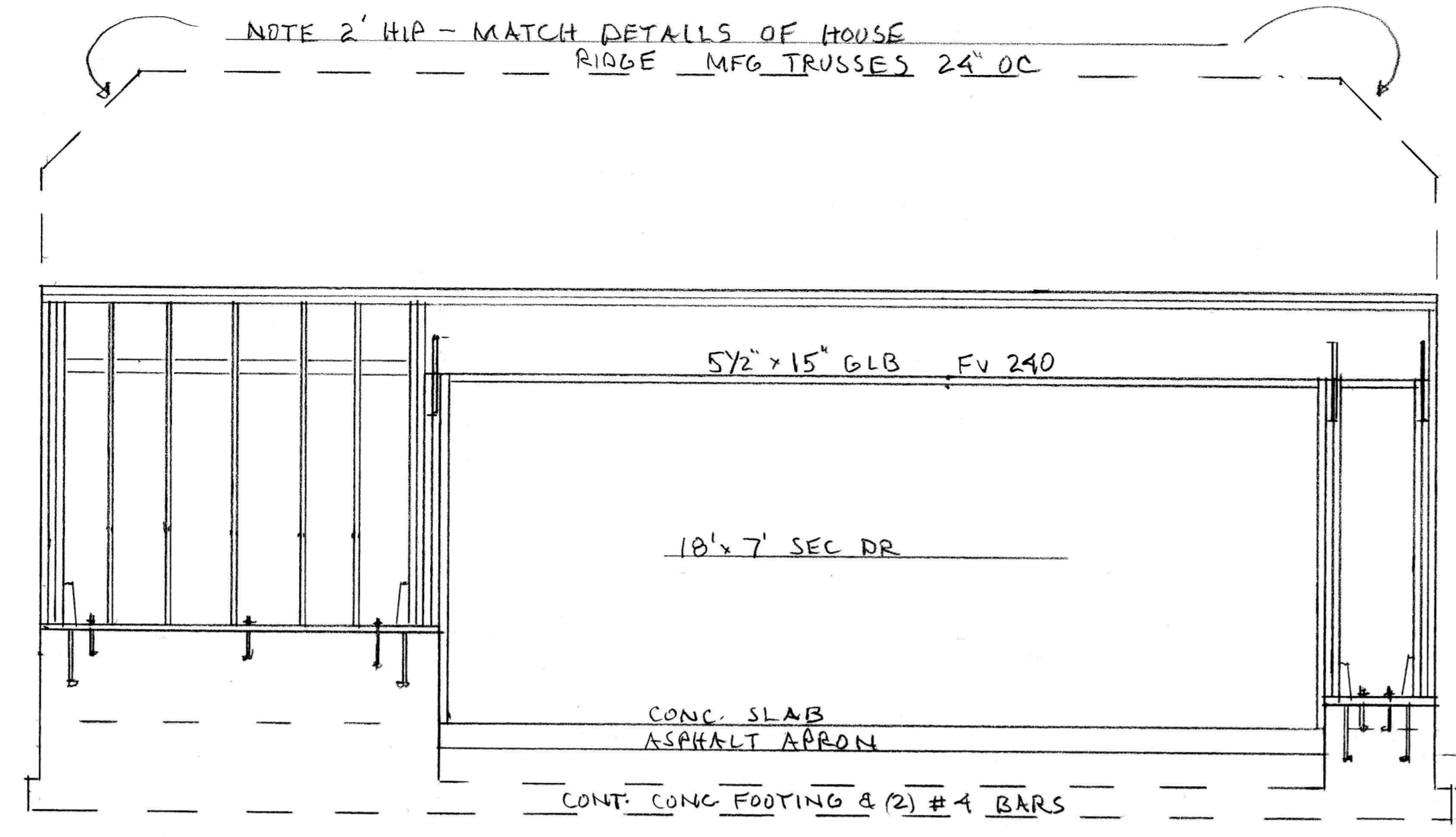
FOUNDATION PLAN SCALE - 1/4" = 1'-0"
SEE ALL FOUNDATION NOTES ①-⑦

FLOOR PLAN - ELECT. SCALE - 1/4" = 1'-0"
SEE ALL FLOOR PLAN NOTES

PAGE TITLE: FOUNDATION PLAN - FLOOR PLAN - ELECTRICAL - ROOF FRAMING - SCALE - 1/4" = 1'-0"
PROPERTY ADDRESS: 805 N GRANT STREET, TACOMA, WA 98403 1030 - PIERCE COUNTY - (E) 1144 SF + 830
BASEMENT SF 4 BED / 2.25 BA 1.5 STORY

JOB TITLE: "BUILD 696 SF DETACHED GARAGE"
OWNER: ALICIA HOWSER
OWNERS ADDRESS: 805 N GRANT STREET, TACOMA, WA 98403
PARCEL ID: 2038330070 - PROPERTY TYPE: SFR
LEGAL DESCRIPTION: SEE PAGE - 1
DATE OF PLANS: 12 10 - 2024
PLANS BY: JEFF BONES ENTERPRISES
APPROVED SIGNATURE - Jeff Bones
PAGE - 3 OF - 5

PORTAL FRAME w/HD
 (2) 2x6 JACK STUDS - (2) 2x6 KING STUDS
 4x6 SOLID BLOCKING
 SW-2 - SEE GEN. NOTES PG-2



PORTAL FRAME w/HD
 CONT. 5 1/2" x 15" GLB
 (2) 2x6 JACK STUDS x 2 ST 18" STRAPS JS TO GLB
 HDU4-SAS2.5 (4) TOTAL
 1/2" x 10" HDG A.B. WITH 3" x 3" PLATE WASH. 48" O.C. & ≤ 12" FROM ENDS
 SW-2 - SEE GEN. NOTES PG-2

GRADE AT SE SIDE
 FIN. FLOOR

PORTAL FRAME w/HD
 SCALE - 3/8" = 1'-0"

SECTION AND DETAIL NOTES: (SEE ALL GENERAL NOTES PG 2). SEE ALL 2021 IRC CODE REFERENCES ON: FOUNDATION PG; FLOOR FRAMING PG; WALL FRAMING PG; ROOF FRAMING PG.

(1) FOUNDATION: (SEE ALSO FOUNDATION PLAN NOTES)
 FOOTINGS 14" WIDE X 8" DEEP
 (2) #4 BARS HORIZONTAL, 3" FROM GROUND.
 FOUNDATION WALLS 8" WIDE X AS NOTED. (2) #4 BARS HORIZONTAL, TOP BAR 3" 5" FROM TOP, - #4 BAR VERTICAL BENDS, ALTERNATE DIRECTION, 4 FT. OC.
 CONCRETE SLABS 4" MINIMUM CONCRETE / 6X6 WWM REINFORCING / 6 MIL MB SHEATHING / 2 4" CRUSHED ROCK

(2) MUDSILL AND ANCHORING:
 2X6 PT MUDSILL. INSTALL SEALANT OR GASKET MEMBRANE BETWEEN MUDSILL AND CONCRETE FOUNDATION. ALL NAILING INTO PT TO BE HDG NAILS.
 FOUNDATION WALLS 8" WIDE X AS NOTED. (2) #4 BARS HORIZONTAL, TOP BAR 3" 5" FROM TOP, - #4 BAR VERTICAL BENDS, ALTERNATE DIRECTION, 4 FT. OC. SQUARE CUT PLATE WASHERS 3" X 3" PER IRC. MINIMUM 7" EMBEDMENT.

(3) CRAWL AREA: N/A
 (4) FLOOR FRAMING: (SEE FLOOR FRAMING PLAN FOR (BWL BRACED WALL LINE) AND FLOOR DIAPHRAGM NOTES). N/A

(5) WALL FRAMING: (SEE FLOOR PLAN NOTES)
 NOTE: 1 HOUR FIRE RATED CONSTRUCTION AT WALL ON 3 FOOT SEBACK SIDE, NO VENTS. 5/8" TYPE X EXTERIOR GWB OR EQUAL SIDING OVER THAT.

ALL EXTERIOR WALLS 2X6 KD DF OR HEM FIR, 16" O.C. DOUBLE TOP PLATES, MINIMUM LAP 4 FT, 12 10D NAILS EACH SIDE.
 BEAMS AND HEADERS: (LABELED ON FLOOR PLAN, SEE ALSO GENERAL NOTES PAGE-2)
 (BWL)(SW-1): - ALL EXTERIOR WALLS TO BE (BWL): 1/2 INCH CDX PLYWOOD, APA RATED OR EQUAL, 8D NAILS AT 6" ON ALL EDGES, 10" IN FIELD. NOTE: HOLD DOWNS, ANCHOR BOLTS, FLOOR TO FLOOR STRAPS LISTED ON FOUNDATION PLAN.
 (SW-2)(PFH) GARAGE DOOR, ALLEY SIDE 1/2" APA RATED SHEATHING, NAILED 4" ON ALL EDGES, 8" IN FIELD.
 SIDING: - WP MEMBRANE (HOUSE WRAP) HARDIE PLANK, LAP SIDING OR AS SHOWN ON PLAN. GSM FLASHING AT WINDOWS, DECKS, ROOF TO WALL.
 INTERIOR WALLS AND CEILINGS SHEETROCK (GWB) OPTIONAL.

(6) EAVE FRAMING: (SEE ROOF FRAMING PLAN) (BWL)
 NOTE: 1 HOUR FIRE RATED CONSTRUCTION AT EAVE ON ALLEY SIDE, NO VENTS. 5/8" TYPE X EXTERIOR GWB OR EQUAL.

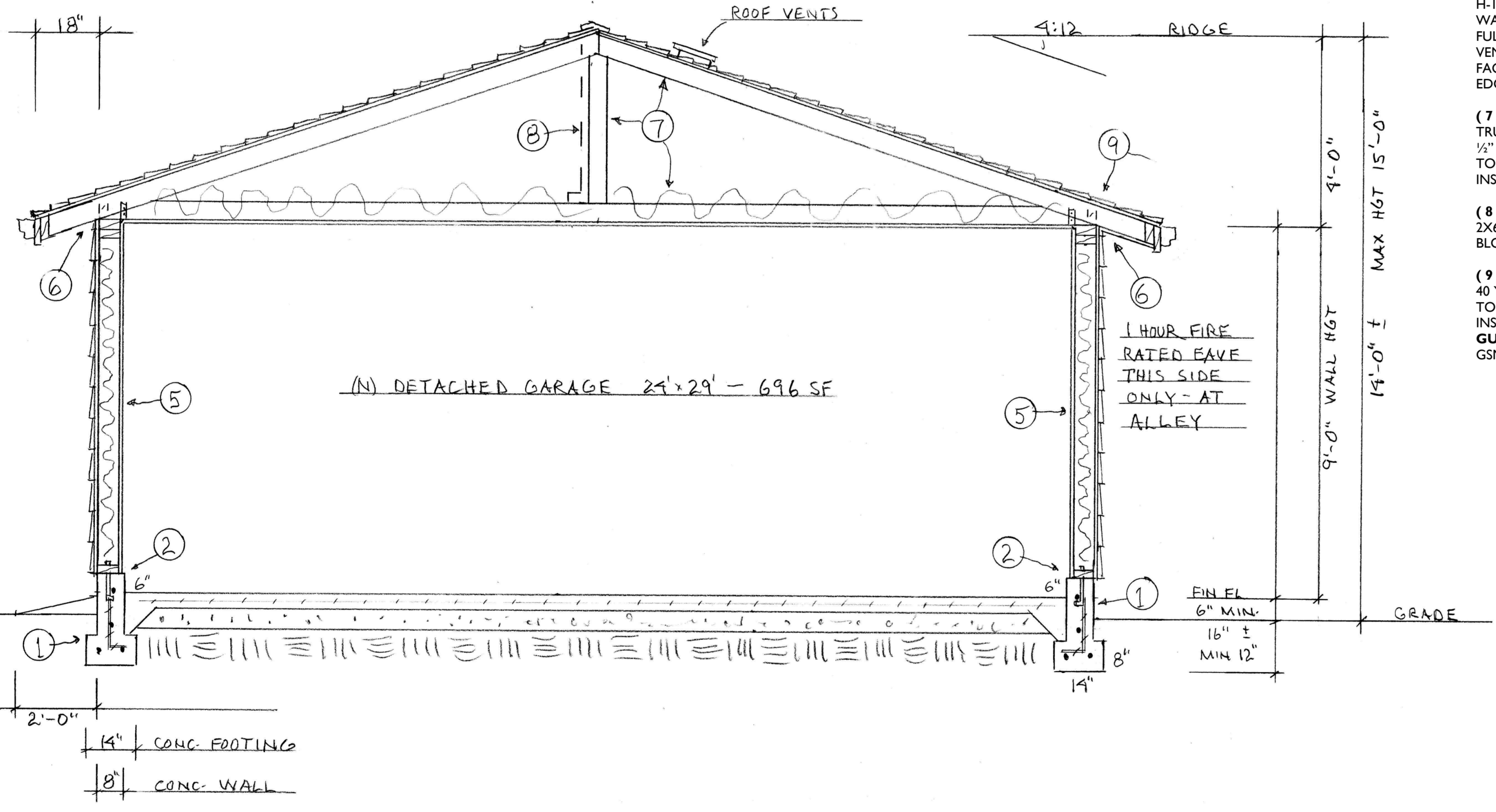
H-1 AT ALL RAFTER OR TRUSS TO WALL CONNECTIONS. SOLID VERTICAL BLOCKING OVER EXTERIOR WALLS, TOE, NAIL RAFTERS TO WALLS (2) 10D, (2) 10D RAFTER TO BLOCK EACH END, (3) 10D TOE NAILS BLOCK TO WALL, OR 6" OC.
 FULL BEARING OF ALL CEILING JOISTS. (4) 10D JOIST TO RAFTER.
 VENTILATION: - DRILL HOLES AND SCREEN (1/4" MAX.) BLOCKING OR SOFFIT VENTILATION, SEE CALCULATIONS ON ROOF FRAMING PLAN.
 FACIA BOARDS: - 1 X 8 PRIMED WHITE WOOD OR CEDAR. 2X SUB FACIA AT ALL EAVES, NAIL ROOF SHEATHING TO SUB FACIA, 8D 6" ON EDGES.

(7) ROOF FRAMING: (SEE ALSO ROOF FRAMING PLAN NOTES)
 TRUSSES: - MFG ROOF TRUSSES, 24" OC. INSTALL PER IRC 2021 AND MFG SPECIFICATIONS. 2018 IRC WHEN APPLICABLE.
 1/2" CDX APA RATED, PLYWOOD PERPENDICULAR TO RAFTERS, STAGGER SHEETS 4 FT. NAIL WITH 8D AT 6" OC. ALL EDGES, 10" FIELD. NAIL TO EAVE BLOCKING AND SUB-FACIA BOARDS. IF EXPOSED INSULATION: OPTIONAL.

(8) - BRACING: 2X6 ON EDGE NAILED TO 2X4 FLAT TO BE NAILED TO EACH CEILING JOIST OR TRUSS DOWN THE MIDDLE OR MIDSPAN. 2X6 ON A 45 DEGREE ANGLE AT BOTH GABLE ENDS. NAIL TO EACH VERTICAL TRUSS MEMBER WITH (3) 10D NAILS. NAIL TO TOP RIDGE BLOCK WITH (4) 10D NAILS. NAIL TO BOTTOM 2X6 (ON EDGE) WITH (4) 10D NAILS.

(9) ROOFING: ARCHITECTURAL DESIGN COMP. TO MATCH HOUSE.
 40 YR + COMP. ROOFING U.O.N. OVER SYNTHETIC ROOFING MEMBRANE OR EQUAL. GSM FLASHING AT ALL EDGES, VALLEYS, AND ROOF TO WALL.
 INSTALL PER IRC 2021 AND MFG SPECIFICATIONS.

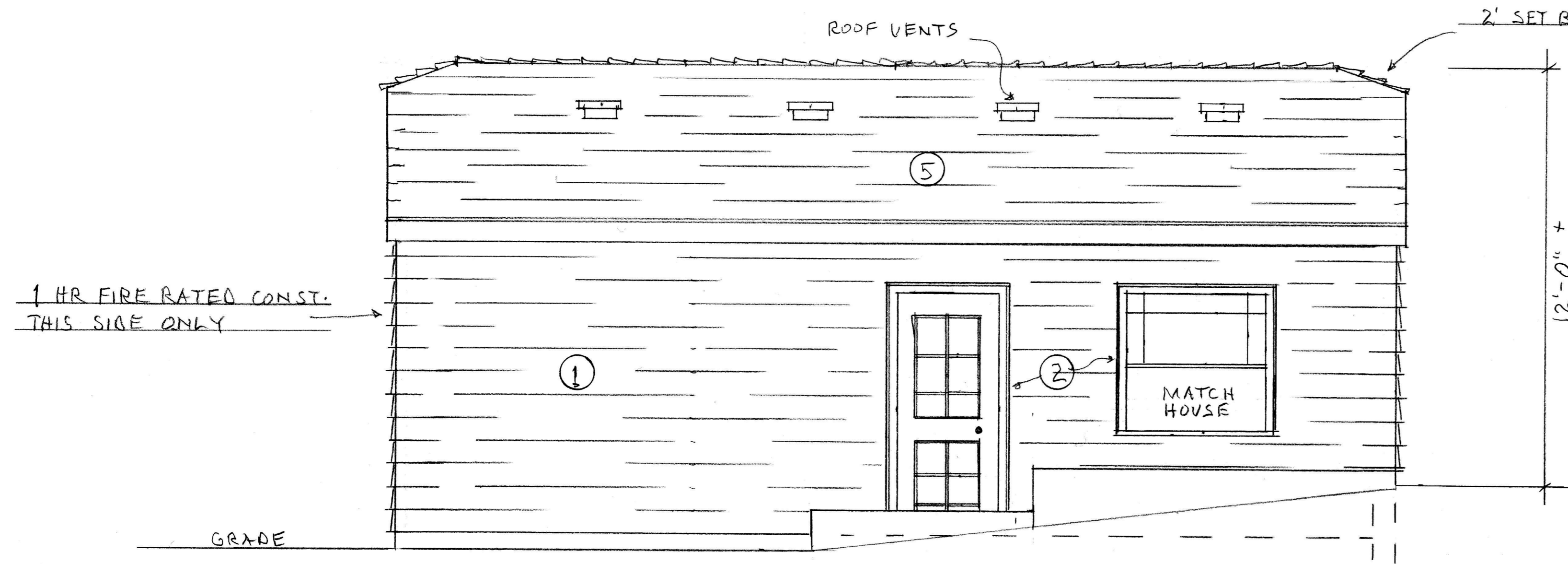
GUTTERS AND DOWNSPOUTS:
 GSM GUTTERS AND DOWNSPOUTS. DOWNSPOUTS CONNECTED TO DRAIN SYSTEM OR SPLASH BLOCKS.



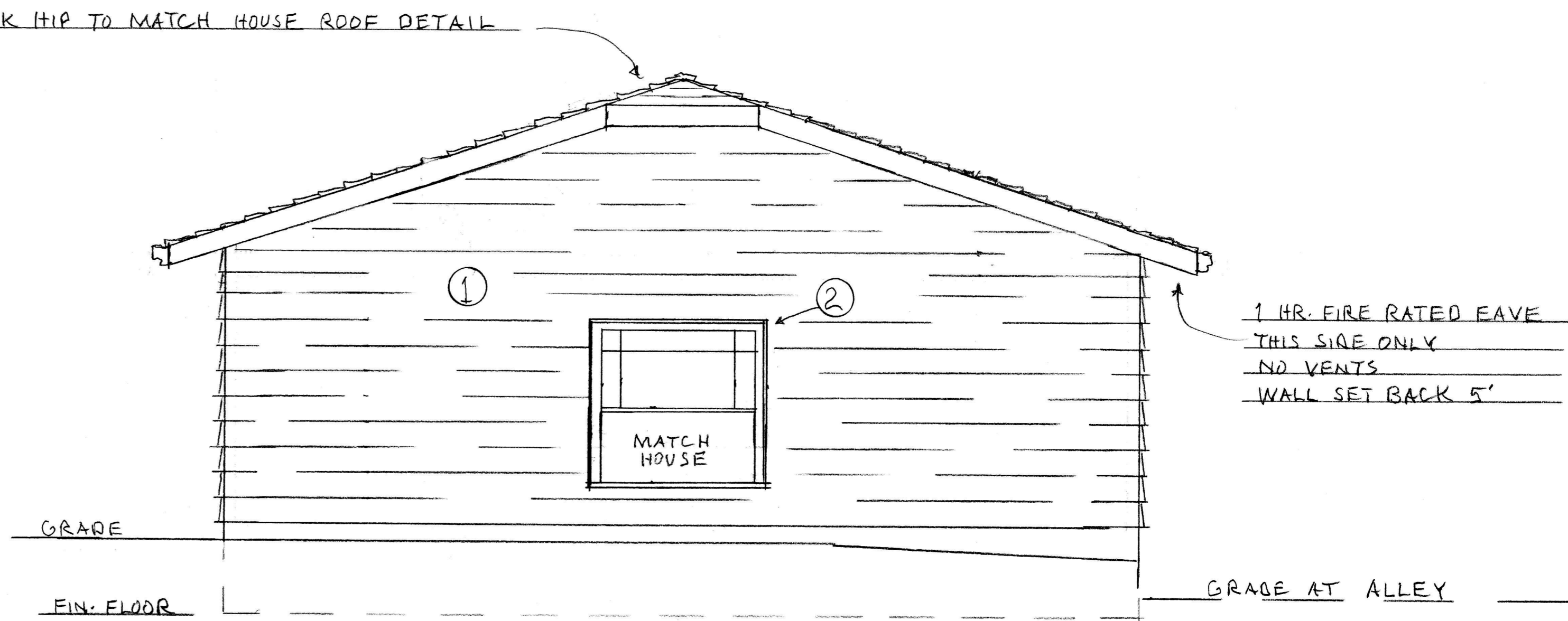
S-1 SECTION - DETAILS SCALE - 1/2" = 1'-0"

PAGE TITLE: SECTION - DETAILS - S-1 - PORTAL FRAMING DETAILS - SCALE - AS SHOWN
 PROPERTY ADDRESS: 805 N GRANT STREET, TACOMA, WA 98403 1030 - PIERCE COUNTY - (E) 1144 SF + 830
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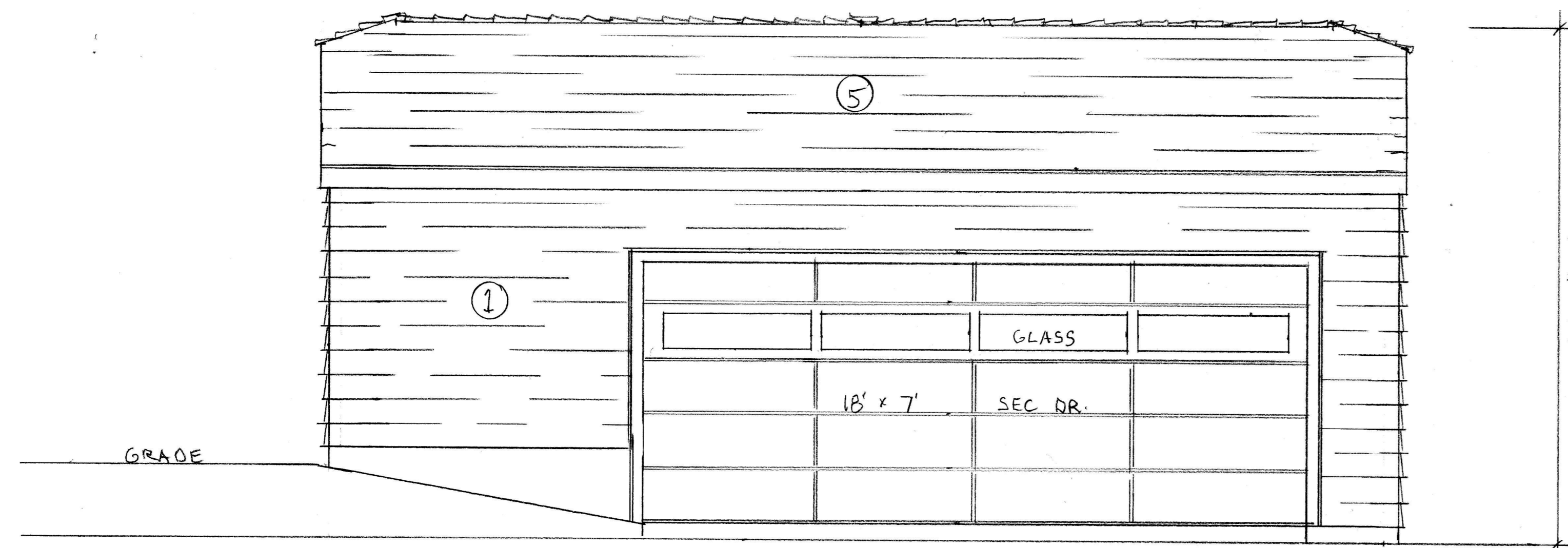
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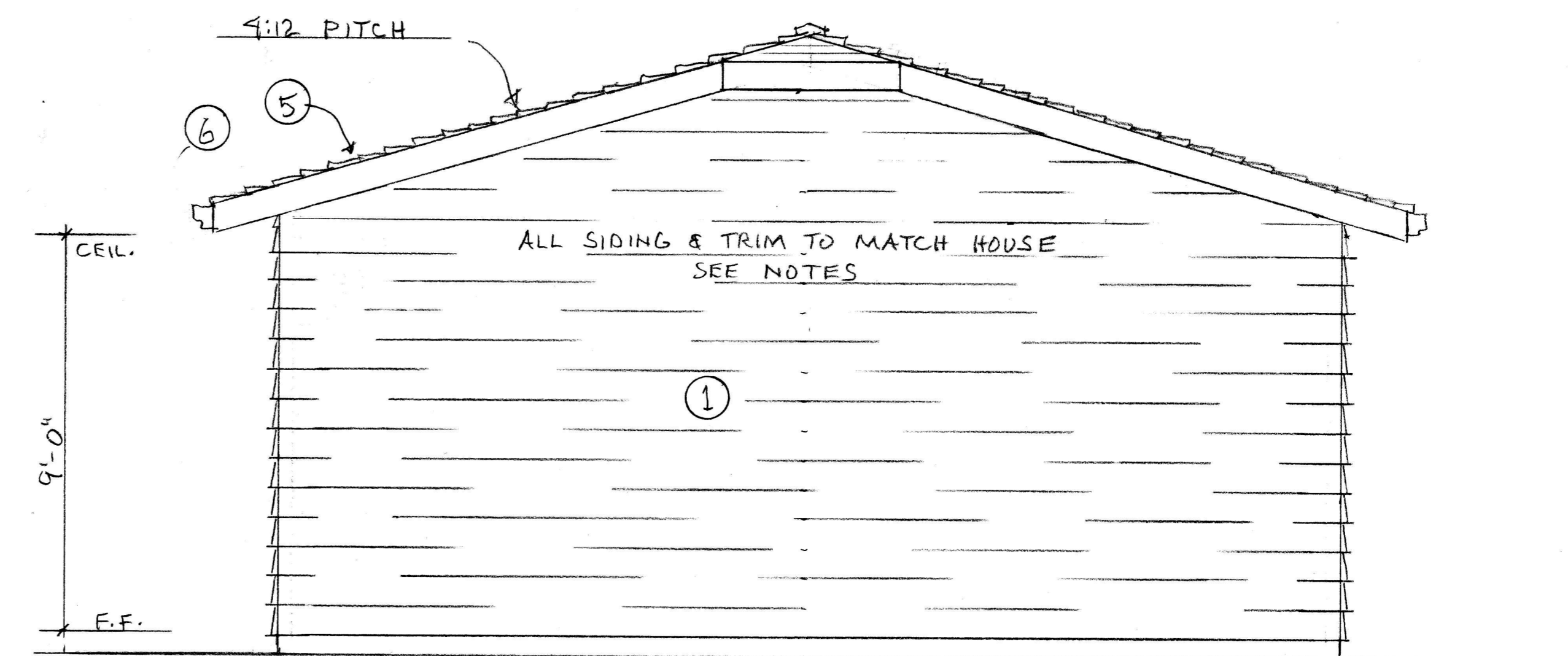
SOUTH WEST ELEVATION SCALE - 3/8" = 1'-0"



SOUTH EAST ELEVATION



NORTH EAST ELEVATION SCALE - 3/8" = 1'-0"



NORTH WEST ELEVATION

EXTERIOR FINISHES: (SEE ALL GENERAL NOTES PG-2)

NOTE: ALL EXTERIOR FINISHES TO MATCH HOUSE DESIGN AS CLOSE AS POSSIBLE.

(1) - SIDING: HARDIE PLANK, LAP TYPE - 5" REVEAL SMOOTH FINISH OUT, NOT TEXTURED TO MATCH HOUSE NO CORNER TRIM, SIDING TO BE CUT TO FIT AT CORNERS WITH METAL FLASHING CORNER PIECES.
TYVEK OR EQ. HOUSE WRAP, WINDOW COUNTER-FLASHING, Z-BAR GSM TOP FLASHINGS.

(2) - TRIM: 1 X 4 ON SIDES AND TOP 1 X 2 ON OUTSIDE EDGE TO MATCH HOUSE BOTTOM OF WINDOWS TO HAVE 2 X SILL TRIM TO MATCH HOUSE.

(3) - DECKS AND RAILINGS DETAILS: (PER 2021 IRC)(PER 2021 WA STATE AMENDMENTS TO IRC) N/A

(4) - STAIRS (INTERIOR AND EXTERIOR): - N/A MAXIMUM RISER 7.5". MINIMUM TREAD 10" WITH 1" OVERHANG. PER IRC. 2 X 12 PT STAIR RUNNERS.

(5) - ROOFING: NOTE: ARCHITECTURAL SYLE COMP SHINGLES TO MATCH HOUSE. 40 YEAR + COMPOSITION ROOFING SHINGLES / 15 LB FELT OR SYNTHETIC MEMBRANE / 1/2 PLYWOOD SHEATHING.

(6) - GUTTERS AND DOWNSPOUTS: ALUMINUM GUTTERS AND DOWNSPOUTS.

WINDOWS AND DOORS:

NOTE: ALL WINDOWS AND DOORS TO MATCH THE DESIGN OF THE EXISTING HOUSE AS CLOSE AS POSSIBLE.

(2) - 4-0 X 4-0 SINGLE HUNG TOP HALF WITH PERIMETER GRIDS TO MATCH HOUSE.
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