Landmarks Preservation Commission

Planning and Development Services Department



747 Market Street | Room 345 | Tacoma WA 98402-3793 | 253.591.5220

APPLICATION FOR DESIGN REVIEW

Permit Number: HDR25-0012

PROPERTY INFORMATION

Building/Property Name: New Detached Garage

Building/Property Address: 1112 N M ST

Historic/Conservation District: North Slope

Applicant's Name: Deborah Li

Applicant's Address: 1112 N M ST Tacoma, WA 98403

Applicant's Phone: 2532413388

Applicant's Email: guangdeb@gmail.com

Property Owner's Name: LI DEBORAH E & YANGGUANG

PROJECT SCOPE AND DESCRIPTION

Project Details

Application Type: Residential

Type of Work: Detached Garage

Estimated Valuation: 47000

Application Checklist

Features to be Modified:

REmove existing garage

Program of Work:	
Specifications of Materials and Finishes:	
per attached plan	

ilding/Roofing Informat	ion
Roof Height:	24
Roof Pitch:	0.41
Roof Material:	30 year laminated compositing roofing with continuous ridge vent,
Size of Construction:	eave metal and rake metal up the gables
Proposed Material:	
8 ¼" Hardiplank Sm	nooth siding on walls
Fratarian Matarial	
Exterior Material: 8 1/4" Hardiplank Sm	nooth siding on walls
0 74 Tidi dipidilik Oli	100th Siding on Walls
ndow Information	
Window Types:	
	windows with standard grid
Window Trim:	
See plan	
Window Material:	
Milgard white vinyl	windows with standard grid
Window Locations:	
See plan	
·	
oor Information	
Door Types:	
36" 6 panel fibergla	
roxo metai rt/ with	smooth back and top glass panels with standard grid
Door Materials:	
36" 6 panel fibergla	ss
18x8 metal R7 with	smooth back and top glass panels with standard grid
Doord coeffees	
Door Locations: See plan	
occ plan	



Submittal Information Permit: HDR25-0012

Planning & Development Services 747 Market St. Tacoma, WA 98402

Applied: 04/14/2025

ACCOUNTING

SAP Cost Object

ADDITIONAL INFORMATION

Door Locations See plan

Door Materials 36" 6 panel fiberglass

18x8 metal R7 with smooth back and top glass panels with

standard grid

Door Types 36" 6 panel fiberglass

18x8 metal R7 with smooth back and top glass panels with

standard grid

Exterior Material 8 1/4" Hardiplank Cedarmill siding on walls

Proposed Material 8 1/4" Hardiplank Cedarmill siding on walls

Roof Height 24

Roof Material 30 year laminated compositing roofing with continuous ridge vent,

eave metal and rake metal up the gables

Roof Pitch 0.41

Size of Construction 720 square feet

Window Locations See plan

Window Material Milgard white vinyl windows with standard grid

Window Trim See plan

Window Types Milgard white vinyl windows with standard grid

APPLICATION CHECKLIST

Elevation Drawings CHECKED

Features to be Modified REmove existing garage

 Illustrations
 CHECKED

 Material Samples
 CHECKED

 Photographs
 CHECKED

 Site Plan
 CHECKED

 Specifications of Materials and Finishes
 per attached plan

HISTORIC DISTRICT

DistrictNorth SlopeGuideline CertificationCHECKED

PARCEL AND ZONING INFORMATION

Accessibility Index High
BLDINSPAREA North
City Council District 2

Education Index Very High
High

Erosion Control Inspector Jenna Warner

Historic District

Land Use Designations Low-Scale Residential

Liquefaction Susceptibility very low Very High **Livability Index Neighborhood Council District** North End **Overall Equity Index** High **SITEINSPAREA** North N04 Wastewater Subbasin Wind Zone 52 **Zoning District UR1-HIST**

PROJECT DETAILS

Estimated Valuation 47000

Scope of Work Remove existing detached garage which is not useable due to

failing structure. Replace with new 720 square foot detached 2 car

garage.

REVIEW TYPE

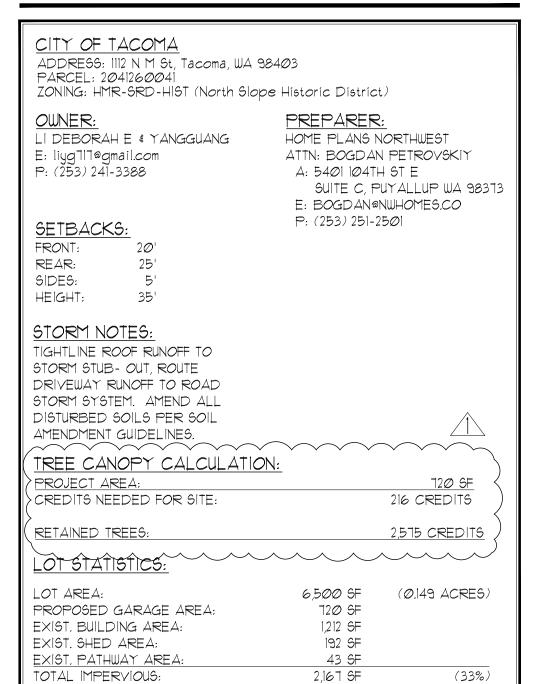
Application TypeResidentialType of WorkDetached Garage

Contacts:

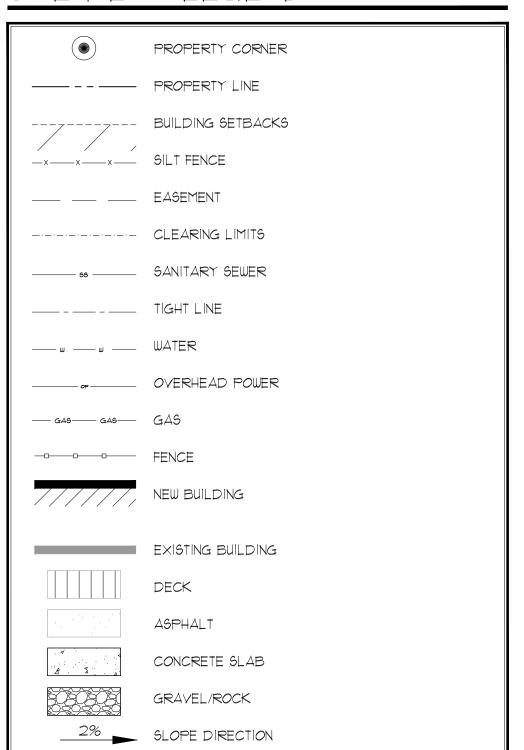
Contact Type Name Email

ApplicantDeborah Liguangdeb@gmail.comOwnerLI DEBORAH E & YANGGUANGguangdeb@gmail.com

SITE PLAN STATISTICS

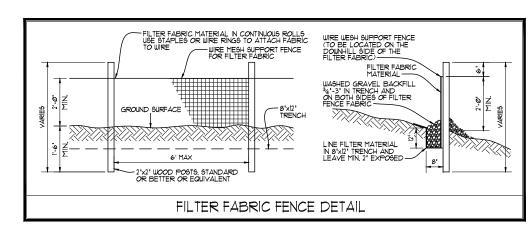


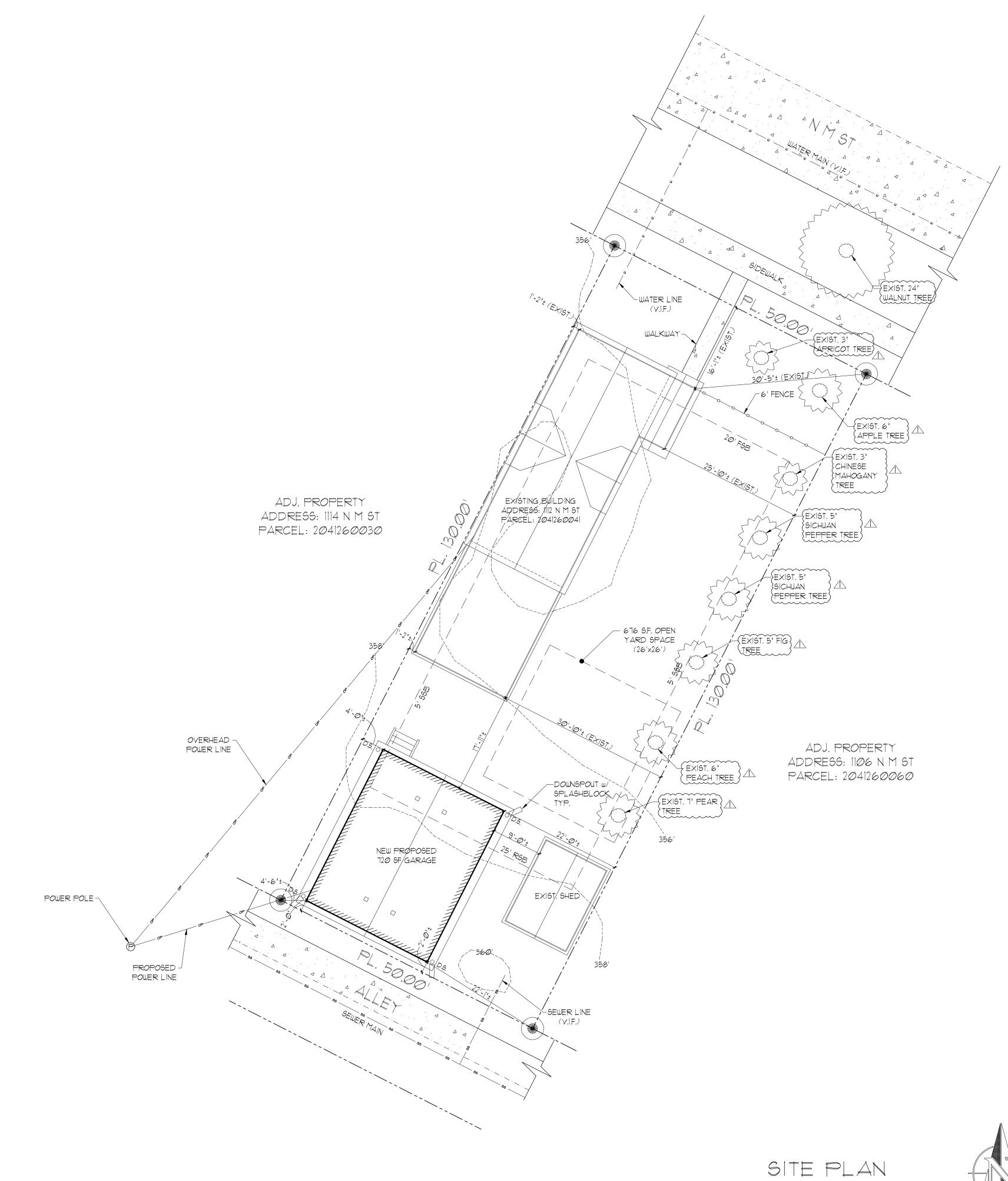
SITE PLAN LEGEND



TREE LEGEND

					_
AP	=	APPLE		=	DECIDUOUS TREE
CY	=	CHERRY	<u> </u>		
D	=	DECIDUOUS	**	=	CONIFEROUS TREE
M	=	MAPLE	<i>V</i> *		





THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN CONSTRUCTION OF ONE BUILDING ONLY AND ARE SUBJECT TO CONDITIONS OF LICENSE ACCEPTED BY THE CUSTOMER. USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMER ON LOAN BY THE CUSTOMER IN USING THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMES ON LOAN BY THE CUSTOMER IN USING THE PLANS, SUCH AS CONTRACTORS SUBCONTRACTORS, IS STRICTLY PROHIBITED. THE PLANS MAY NOT BE REJUSED OR COPIED, IN WHOLE OR IN PART, WITHOUT WRITTEN FROM RUEPPELL, INC. WHICH RETAINS COPYRIGHTS TO, & OWNERSHIP OF THE PLANS.

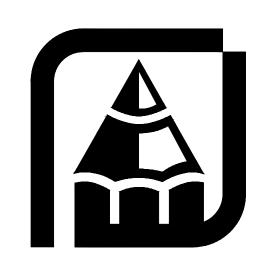
RUEPPELL, INC. PREPARES ITS PLANS CAREFULLY FOR THE USE OF ITS CUSTOMERS. HOWEVER, ADAPTATION OF THE PLANS TO MEET SPECIFIC STATE AND LOCAL BUILDING CODES AND REGULATIONS, AND SPECIFIC CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRA

Deborah Li
39/25/2024
on Date: 04/03/2025

Plan: G-72
Job#: Deborah
Date: 09/25/20
Revision Date:
Drawn by: BA
Phone: (253)

A-00

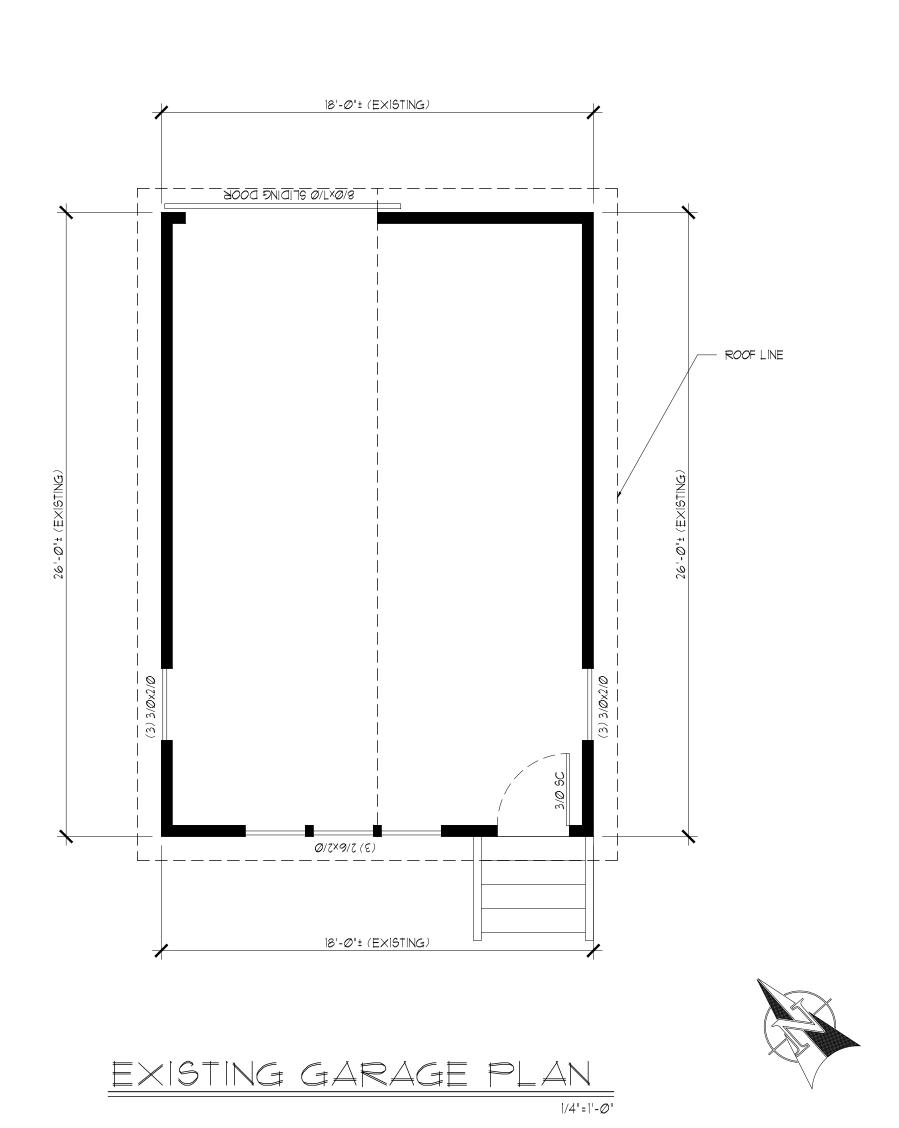
AS-BUILT / DEMOLITION PLAN



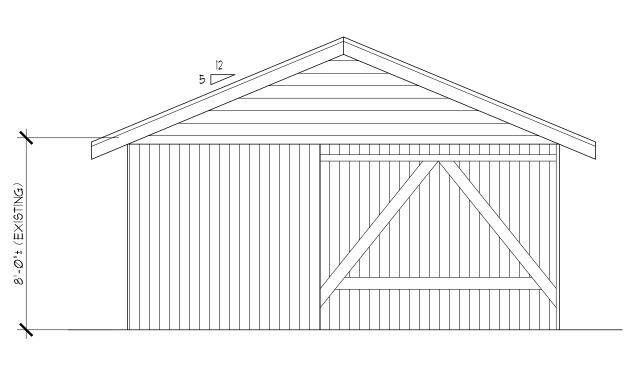
: 03/28/25 |>

1/4"=1'-0"

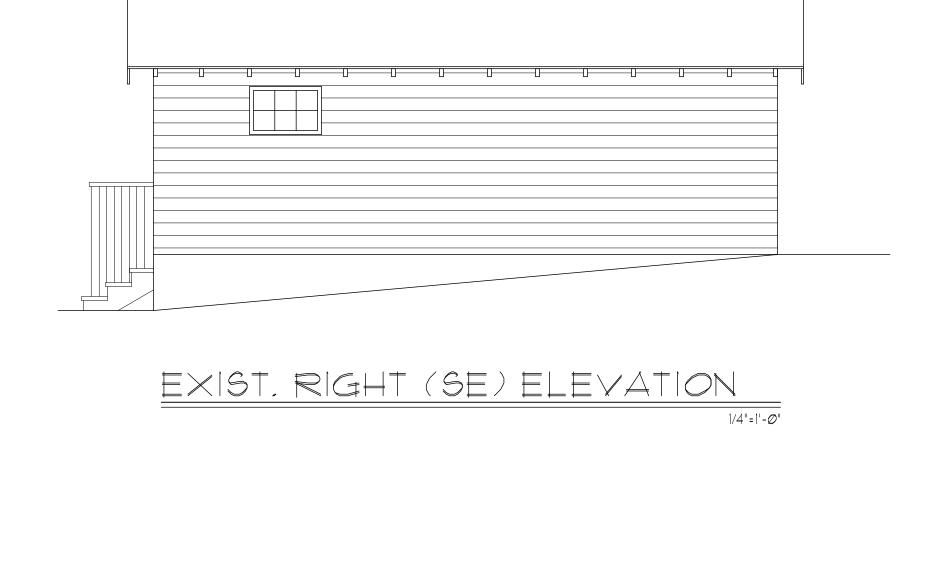
NOTE: EXISTING GARAGE WILL BE TOTALLY DEMOLISHED.

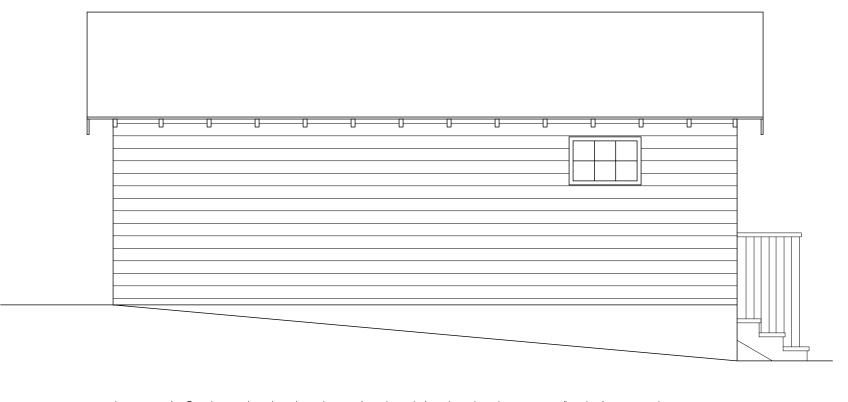




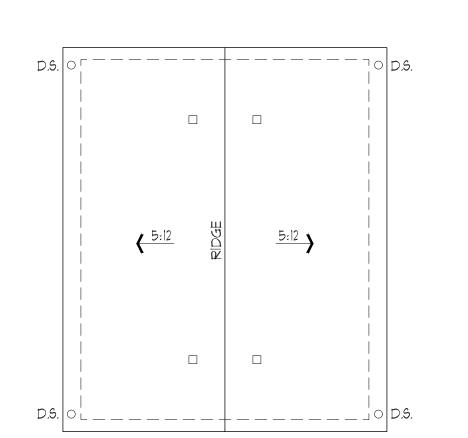








EXIST, LEFT (NW) ELEVATION



ROOF PLAN D.S. = DOWNSPOUT

 \Box = ROOF VENT

WALL LESS THAN 5' TO A PROPERTY LINE MUST BE I-HOUR. PROJECTIONS GREATER THAN 2' FEET TO LESS THAN 5' FROM PROPERTY LINE MUST HAVE 1-HOUR FIRE-RESTRICTIVE CONSTRUCTION ON THE UNDERSIDE OR FIRE BLOCKED FROM WALL PLATE TO UNDERSIDE OF ROOF SHEATHING WITH NO VENT OPENINGS.

1/8"=1'-0"

MAIN ROOF CALCULATIONS

120 SQ. FT ATTIC AREA / 300 = 2.4 SQ. FT. OF VENTILATION REQUIRED (346 SQ. INCHES)

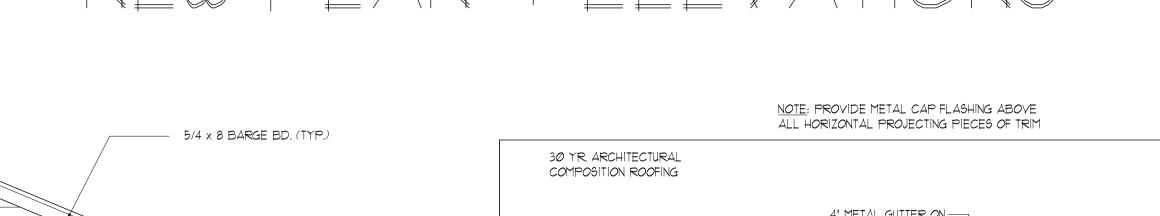
UPPER ROOF VENTING PROVIDED BY AF50 ROOF VENTS (50 SQ. IN. PER VENT)

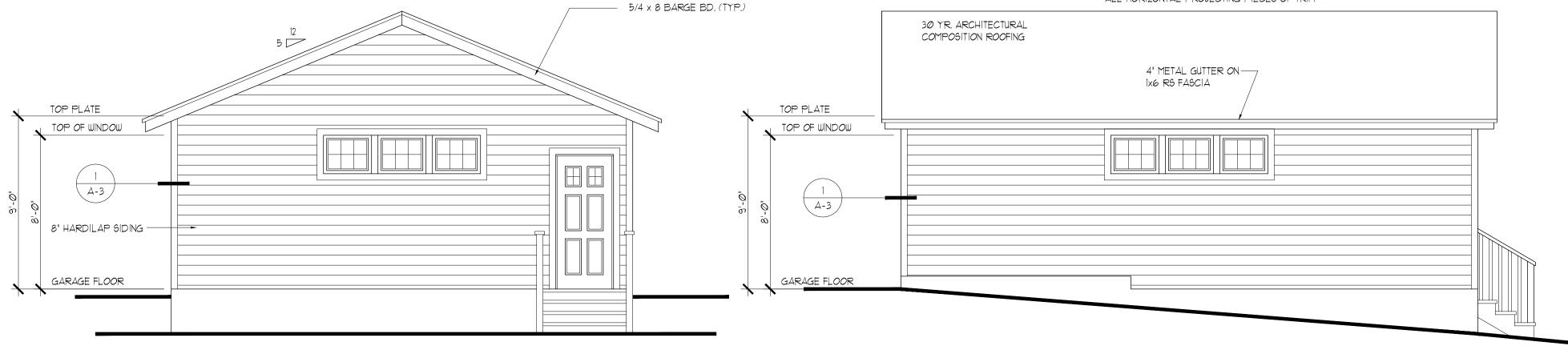
346 SQ. IN x 50% = 173 SQ. IN. REQUIRED. PROVIDE (4) AF50 ROOF VENTS = 200 SQ. IN.

LOWER ROOF VENTING PROVIDED BY BIRDBLOCKING: (4) 2" DIA. HOLES (3,14" EA.) = (12,5 SQ. INCHES.) AND WITH AF50 ROOF VENTS (50 SQ. IN. PER VENT) 346 SQ. IN. x 50% = 173 SQ. IN. REQUIRED.

PROVIDE (14) BIRDBLOCKS = 175 SQ. IN. @ FRONT & REAR OF HOUSE AND NOT WITHIN 2' OF THE SIDES.

NEW PLAN & ELEVATIONS



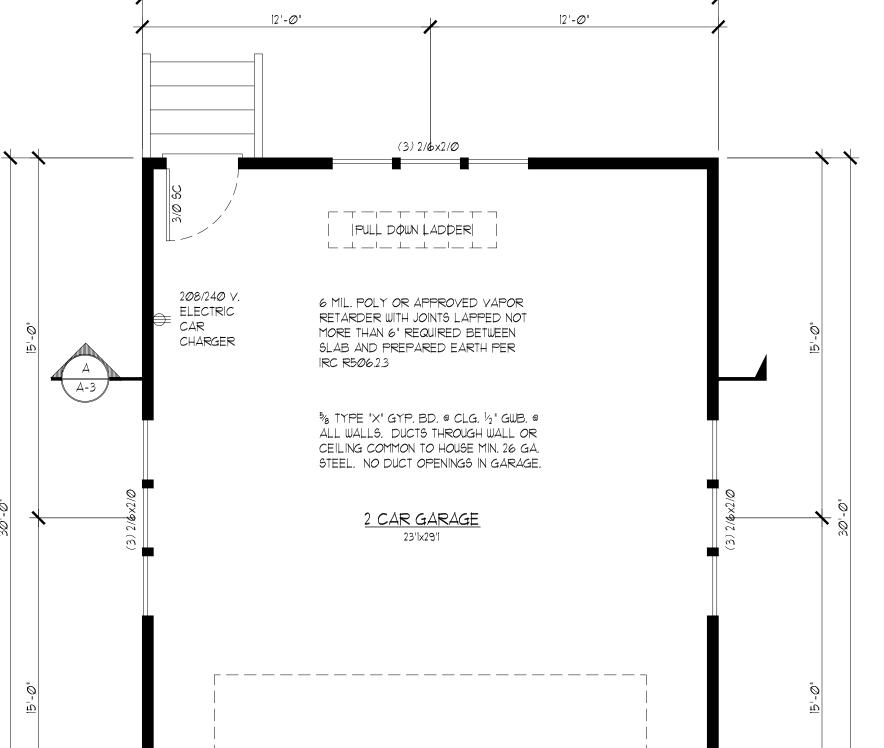


REAR (NE) ELEVATION

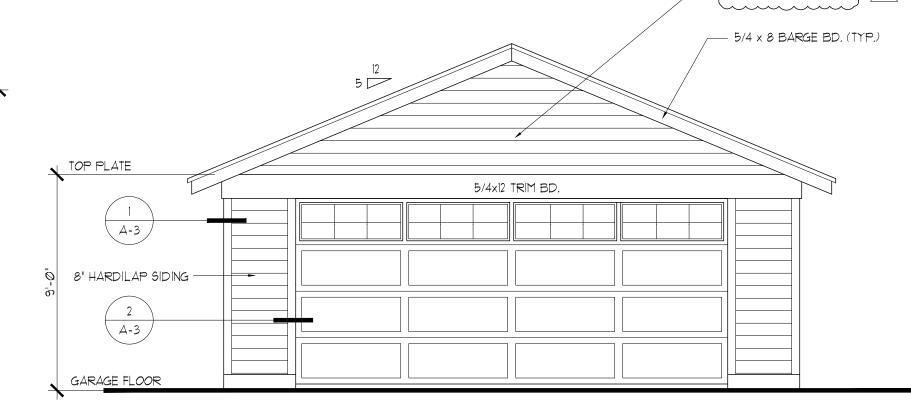
1/4"=1'-0"

RIGHT (SE) ELEVATION

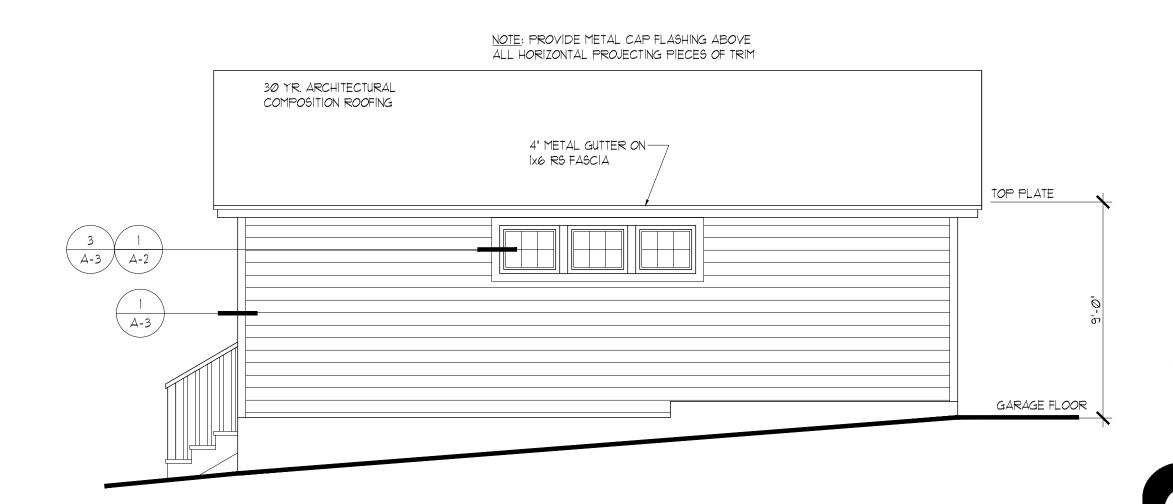
1/4"=1'-0"



18/0x8/0 SECTIONAL O.H. GARAGE DOOR



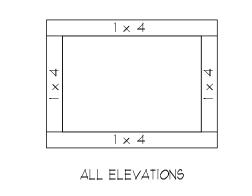
FRONT (SW)ELEVATION AT ALLEY



LEFT (NW) ELEVATION

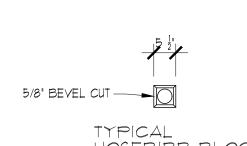
1/4"=1'-Ø"

FLOOR PLAN CALCULATIONS 72Ø S.F.



WINDOW TRIM DETAIL NOTE: ALL FRONT EXTERIOR TRIM FIN. ARE TO BE MDO (MEDIUM DENGITY OVERLAY). N.T.S.

8" HARDILAP SIDING '



UPGRADED LIGHT BL*OC*K

TYPICAL BLOCKING DETAIL SCALE: 1/2" =1"

Plan: G-720Job#: Li, Deborah
Date: 10/29/24
Revision Date: 03/28/25 □
Drawn by: BP
Phone: (253) 250-2501

2024,

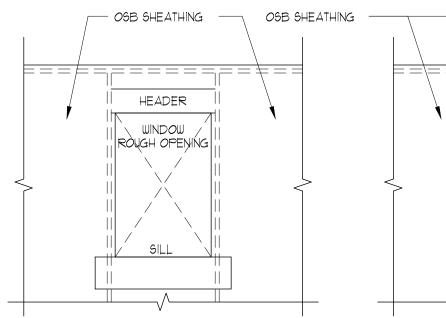
F

NEW GARAGE FLOOR PLAN

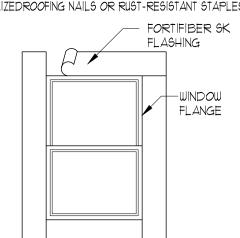
CORNER TRIM DETAIL

GARAGE DOOR - STOP BLOCK └ 2x6 TRIM └ IX6 MD0 TRIM - HORIZONTAL LAP SIDING - O.S.B SHEATHING

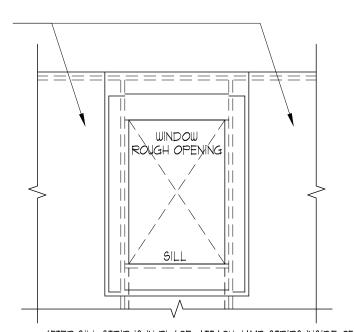
GARAGE DOOR TRIM DETAIL



ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 12' WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 12" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING WITH GALVANIZEDROOFING NAILS OR RUST-RESISTANT STAPLES.

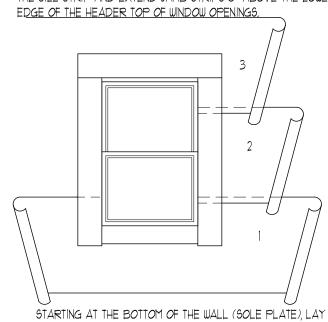


APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST 12" WIDE.



N.T.S.

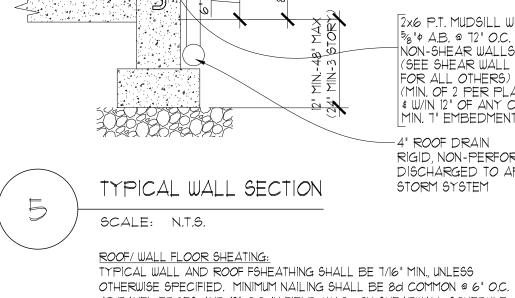
AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS INSIDE OF OPENING AT LEAST 12" WIDE WITH INSIDE EDGE OF FLASHING EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 6" ABOVE THE LOWER



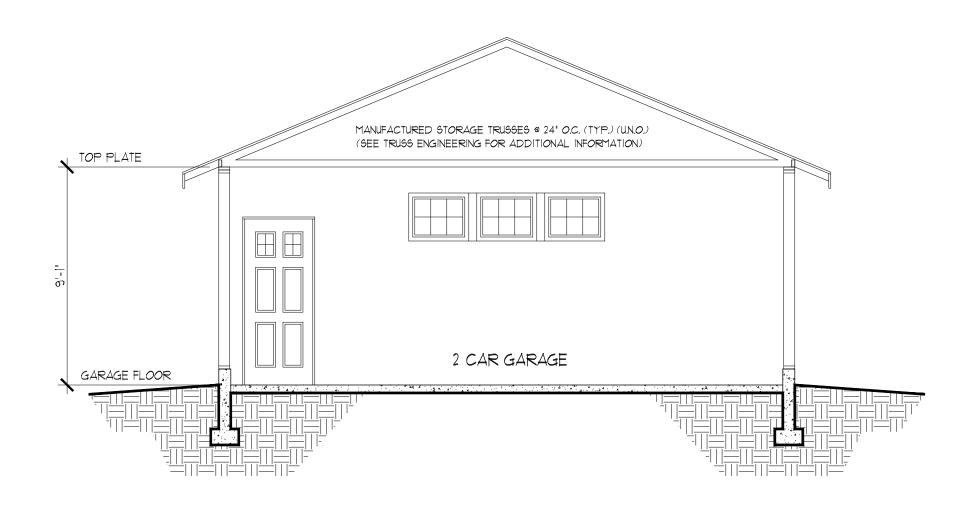
WATER RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING, (SHOWN IN DIAGRAM AS SHORT DASHED LINES), INSTALL SUCCEEDING COURSESOF WATER RESISTANT PAPER OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

N.T.S.



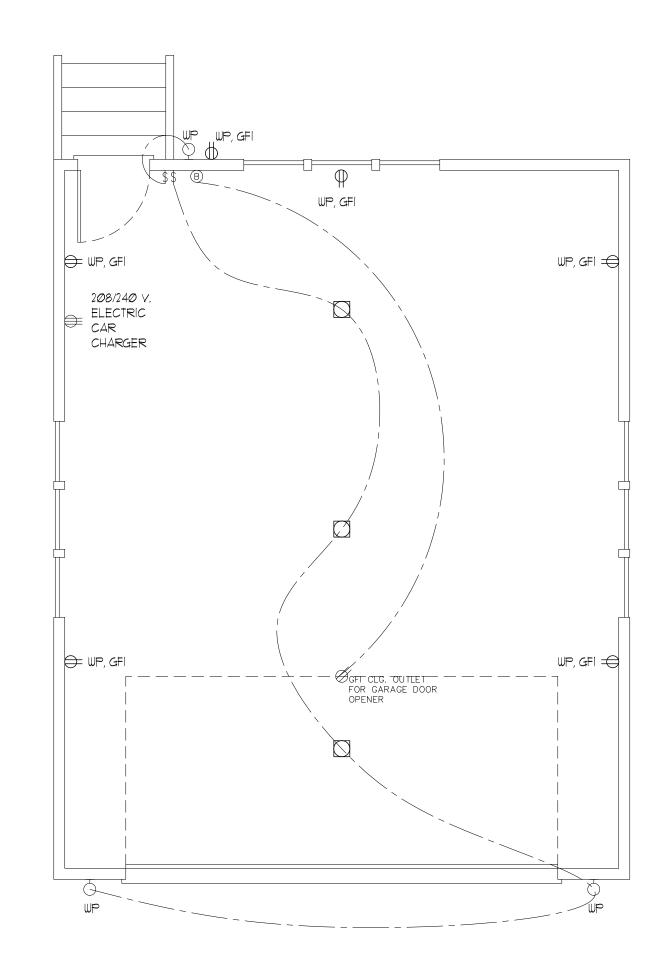


AT PANEL EDGES AND 12" O.C. IN FIELD, UN.O. ON SHEARWALL SCHEDULE. SPAN INDEX SHALL BE 24/0 FOR WALLS AND 24/16 FOR ROOF. FLOOR SHEATHING SHALL BE 3/4" T&G SHEATHING, UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 8d COMMON AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN FIELD. SPAN INDEX SHALL BE 40/20 UNLESS NOTED OTHERWISE. STAGGER END LAPS AT ROOF AND FLOOR SHEATHING.

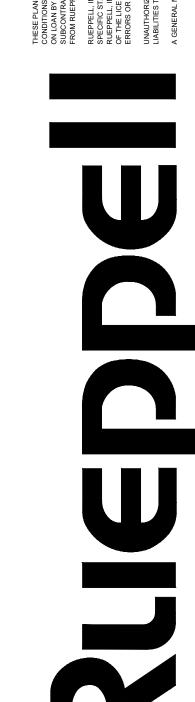


SECTION - A

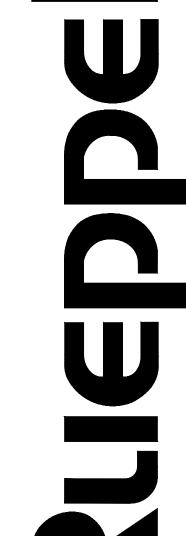
1/4"=1'-0"

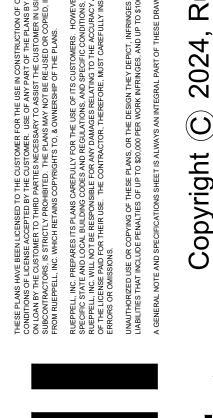


NEW GARAGE ELECTRICAL PLAN



Plan: G-720 Job#: Li, Deborah Date: 10/29/24 Revision Date: 03/2 Drawn by: BP Phone: (253) 250-3 03/









2x6 P.T. MUDSILL WITH
5%" A.B. @ 72" O.C. AT
NON-SHEAR WALLS U.N.O.
(SEE SHEAR WALL SCHEDULE
FOR ALL OTHERS)
(MIN. OF 2 PER PLATE
& W/IN 12" OF ANY CORNER) MIN. 7" EMBEDMENT

- OVERHANG CANNOT BE WITHIN 2' OF PROPERTY

EXTERIOR SIDE CONST.:

OVER 7/16" SHEATHING.

HARDI SIDING OVER BUILDING

WRAP OVER 5/8" TYPE 'X' EXT. GYPSUM APPLIED VERTICALLY WITH ALL JOINTS OVER FRAMING OR BLOCKING, FASTENED @ 12" O.C.

FOR STRUC, LESS THAN 5' FROM PROP. LINE

COMPOSITION ROOF

- 2X SOLID BLK'G

2x6 STUDS @ 16" O.C.

SIDING (SEE ELEVATIONS)
15# BLDG. PAPER (OR TYVEK)

- G.I. GUTTER ON 5/4x8 FASCIA

30# FELT EA. COURSE

SEE SHEAR WALL SCHEDULE FOR SHEATHING REQ. MANUFACTURED TRUSSES (OR 2x RAFTERS & CLG. JSTS.)

SEE SHEAR WALL SCHEDULE FOR SHEATHING REQ.

SOLID BLOCKING @ EA. RAFTER-

5/8" TYPE 'X' GYPSUM APPLIED
VERTICALLY WITH ALL JOINTS OVER
FRAMING OR BLOCKING, FASTENED WITH
2 1/4" S DRYWALL SCREWS @ 12" O.C.
OVER 2X6 STUDS @ 16" O.C. WITH

EXTERIOR WALLS GA FILE NO. WP 8105

GYPSUM WALLBOARD, WOOD STUDS

CITSUM WALLDUARD, WOUD STUDS

EXTERIOR SIDE: One layer 48" wice 5/8" type X quyeum sheathing applied parallel to 2 x 4 wood stude 24" o.c. with 1 3/4" galvanized roofing nails 4" o.c. at vertical joints and 1" o.c. at intermediate stude and top and bottom plates. Joints of guyeum sheathing may be left utreated. Extrerior cladding to be attached through sheathing to stude.

PRESSURE TREATED 2x SLEEPERS W/ R-10 RIGID -FOAM INSULATION OVER 6 MIL PLASTIC VAPOR BARRIER AT HEATED SPACES, TYP. (UNO)

INTERIOR SIDE:

R-21 INSULATION

- 4" ROOF DRAIN RIGID, NON-PERFORATED DISCHARGED TO APPROVED

GENERAL

APPLICABLE CODE: 2021 WASHINGTON STATE BUILDING CODE (WSBC) AND/OR 2021 INTERNATIONAL RESIDENTIAL CODE(IRC) INCLUDING STSTE OR LOCAL JURISDICTION AMENDMENTS, ALL REFERENCED STANDARDS SHALL BE LATEST EDITION AS ADOPTED BY APPLICABLE CODE.

ALL GRAVITY LOAD RESISTING AND LATERAL LOAD RESISTING STRUCTURAL MEMBERS ARE SHOWN ON THE ENGINEERING PAGES. THE ENCLOSED ENGINEERING CALCULATIONS DOCUMENT THE ANALYSIS USED TO DETERMINE THE STRUCTURAL MEMBERS OF THE STRUCTURAL PAGES. THE ENGINEERING CALCULATIONS ARE NOT REQUIRED TO BE REFERENCED FOR CONSTRUCTION.

CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN INSTALLED. ENGINEERS AND DESIGNER SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES AT THE TIME THEY ARE NOTED.

WOOD SHALL NOT BE USED TO SUPPORT MASONRY OR CONCRETE UNLESS

2.0 DESIGN CRITERIA

Δ.	LIVE	LOADS
/		

ROOF Lr = 1.0	20 PSF
FLOORS (RESIDENTIAL)	40 PSF
B. DEAD LOADS	
ROOF	15 PSF
FLOORS (RESIDENTIAL)	15 PSF
C. SNOW LOADS	
DISTRIBUTED SNOW LOAD	25 PSF

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EXPOSURE
BASIC WIND SPEED
                           GUST, ULTIMATE)
IMPORTANCE FACTOR, Iw
                            1.00
Kzt
SIMPLE DIAPHRAGM BUILDING ENCLOSED
```

E. SEISMIC

```
SPECTRAL ACCELERATION (S6, S1) - 1.37, Ø.47
SITE COEFFICIENT (Fa, Fv)
                              - 1.20, 1.83
BASIC SEISMIC RESISTING FORCE SYSTEM
```

LIGHT-FRAME (WOOD)WALLS SHEATHED WITH WOOD FOR SHEAR

SEISMIC IMPORTANCE FACTOR le 1.0 RESPONSE MODIFICATION FACTOR R 6.5

SEISMIC DESIGN CATEGORY MAXIMUM STORY DRIFT ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE

SEISMIC RESPONSE COEFFICIENT, Co

IRREGULARITIES REDUNDANCY FACTOR, D 1.0

INVESTIGATION OF THE SOIL SHALL BE MADE BY THE REGISTERED DESIGN OF DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 1500 PSF. ORGANIC SILT, ORGANIC CLAYS, PEAT, OR UNPREPARED FILL SHALL NOT BE ASSUMED TO HAVE A BEARING CAPACITY UNLESS THEY ARE SUBMITTED (1806). WITH ASCET CHAPTER 20.

SITE GRADING: THE GROUND IMMEDIATELY ADJECENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT

COMPACTED FILL MATERIAL SHALL NOT BE USED UNLESS ALLOWED BY A SOILS ENGINEERING REPORT (1804.5) UNLESS UNDER 12" AND APPROVED BY THE

(2304.11): WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WITHOUT

JOISTS SHALL NOT BE CLOSER THAN IS INCHES OR WOOD GIRDERS CLOSER THAN 12 INCHES TO THE EXPOSED GROUND.

REST ON EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 8 INCHES FROM EXPOSED EARTH. SILLS IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE WOOD. CLEARANCE BETWEEN WOOD SIDING AND EARTH SHALL NOT BE LESS THAN 6 INCHES. POST SHALL BE PRESERVATIVE UNLESS SUPPORTED BY A PEDESTAL GREATER THAN 8 INCHES FROM EXPOSED GROUND.

MATERIALS LUMBER SHALL CONFORM TO DOC PS20, 2303.1.1

STRUCTURAL GLUED-LAMINATED TIMBER SHALL CONFORM TO AITC A 190.1 AND

PRESERVATIVE TREATED WOOD SHALL CONFORM TO APPLICABLE AWPA STANDARDS

MANUFACTURER METAL PLATE CONNECTED WOOD TRUSS SHALL BE MANUFACTURED AS REQUIRED

FLOOR AND ROOF SHEATHING SHALL BE PER IBC TABLES OF SECTION 2304. FASTENING SHALL BE PER THE 2021 IBC FASTENING SCHEDULE TABLE 2304.10.1 STRUCTURAL DESIGN, CHAPTER 16

ANALYSIS PROCEDURE USED ASCET

BUILDING CLASSIFICATION: CATEGORY I

CONTRACTOR VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO

SPECIFICALLY NOTED OTHERWISE ON THE STRUCTURAL SHEETS (2304.12).

D. WIND

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97 M.P.H. (3 SECOND
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SITE CLASS
                             D (DEFAULT)
SPECTRAL RESPONSE COEFFICIENT (SDs, SD1) - 1.10, 0.47
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STRUCTURAL PANELS

RESISTANCE

RISK CATEGORY

PROCEDURE

SEISMIC BASE SHEAR, C.W NONE

F. FROST DEPTH

SOIL AND FOUNDATION

WHERE REQUIRED BY YTHE BUILDING OFFICIAL, THE CLASSIFICATION AND PROFESSIONAL (1803.1). UNLESS A SOILS INVESTIGATION IS PROVIDED FOUNDATION THIS ENGINEERING IS BASED ON SITE CLASS D (ASSUMED) SOILS IN ACCORDANCE

FOR A MINIMUM OF 10 FEET (1804.3).

BUILDING OFFICIAL.

PROTECTION AGAINST DECAY AND TERMITES

IN CRAWL SPACES. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, WHICH

MANUFACTURED 1-JOISTS SHALL CONFORM TO ASTM5055 ASTM D 3737

TRUSSES, TRUSS DRAWINGS AND TRUSS ENGINEERING SHALL BE PROVIDED BY THE

BY TPI I.

SPECIAL INSPECTIONS: SPECIAL INSPECTIONS ARE NOT REQUIRED FOR BUILDING COMPONENTS U.N.O. IN CHAPTER (1704)

CONCRETE, CHAPTER 19

ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL BE PER ACI 318. AIR ENTRAINMENT IS REQUIRED FOR ALL CONCRETE EXPOSED TO THE WEATHER. ASTM A615 GRADE 60 REINFORCING STEEL DETAILS SHALL BE PREPARED BY AN EXPERIENCED APPROVED DETAILER AND CONFORMS TO THE STANDARD PRACTICE OUTLINED IN ACL318.

MINIMUM SPECIFIED COMPRESSIVE 28 DAY STRENGTH (TABLE 1904.2) 2,500 PSI FOR BASEMENT WALLS AND FOUNDATIONS NOT EXPOSED TO THE WEATHER.

2,500 PSI FOR SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR

3,000 PSI FOR VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER 3,000 PSI FOR DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLABS, STEPS AND OTHER FLATWORK EXPOSED TO THE WEATHER AND GARAGE FLOOR

CONCRETE CAST AGAINST SPOIL SHALL HAVE A MIMINUM CONCRETE COVER OF 3". CONCRETE EXPOSED TO THE EARTH WITH REBAR #5 AND SMALLER SHALL HAVE A MINIMUM OF 1-1 2" COVER (1907.7)

THE THICKNESS OF CONCRETE FLOOR SLAVS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAT 3-12". A 6-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE BASE COURSE AND THE CONCRETE FLOOR SLAB. ALL BASEMENT WALLS BELOW FINISHED GRADE SHALL BE DAMP-PROOFED

FRAMING NOTES

OUTSIDE BY APPROVED METHODS AND MATERIALS.

FRAMING CONTRACTORS SHALL WORK IN CONFORMANCE TO ALL WISHA/OSHA RULES. POSITIVELY NO WORK MAY BE SUBCONTRACTED TO OUTSIDE FRAMING CREWS WITHOUT PRIOR WRITTEN PERMISSION FROM (VOID IF BLANK):... EACH JOB TO LEFT IN A BROOM SWEPT CONDITION AT THE END OF EACH DAY, SAFETY HANDRAILS, WHERE REQUIRED, MUST BE INSTALLED AND MAINTAINED AT ALL TIME. FRAMING CONTRACTORTS WRITTEN COMPANY SAFETY PROGRAM MUST BE SUBMITTED PRIOR TO COMMENCING WORK

SUBCONTRACTOR SHALL WORK WITH SUPERINTENDENT TO CORRECT AND COMPLETE LUMBER PACKAGE 24 HR, MUST BE GIVEN TO THE SUPERINTENDENT TO REPLACE MISSING MATERIAL OR TO ADD MATERIAL TO THE LUMBER LIST.

EXCESS MATERIAL THAT CAN NOT BE USED FOR BLOCKING, SHIMMING, ETC. AND OTHER DEBRIS AS MAY BE CREDITED BY WORK, SHALL BE PLACED DESIGNATED AREAS. DOUGLAS FIR AND HEM FIR GRADED IN ACCORDANCE WITH WEST COAST LUMBER RULE #16 4X, 6X, BEAMS AND POSTS: HF #2 JOISTS: HEM FIR #2, Fb = 1075 PSI

ALL DECKS EXPOSED TO WEATHER MUST BE PRESERVATIVE TREATED. FASTENERS FOR PRESSURE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. FIELD CUT END, NOTCHES AND DRILLED HOLES OF PRESSURE TREATED WOOD SHALL BE OF

RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. SHEAR WALL BOTTOM PLATE NAILING AND ALL NAILING AT PRESSURE TREATED PLATE SHALL BE HOT-DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL PER IRC MAXIMUM MOISTURE CONTENT NOT EXCEED 16%

PROVIDE WASHERS AND NUTS FOR ALL BOLTS BOLTS HOLES SHALL BE NOMINAL DIAMETER OF BOLT PLUS 1/16" ALL STILL PLATE BOLTED TO FOUNDATION AS PER SHEAR WALL SCHEDULE WITH 3"X 3"X 1/4" WASHER

INDIVIDUAL MEMBERS OR BUILT-UP BEAMS SHALL BE ATTACHED WITH 16D NAILS @ 16" O.C., PROVIDE CONTINUOUS SOLID BLOCKING AT MID HEIGHT OF ALL STUDS WALL OVER 8'-0" HT.

ALL POST OVER 4'-0" NEED BRACING PER IRC NAILING SHALL CONFORM TO TABLE 2304.10.1

ALL EXTERIOR AND INTERIOR WALLS SHALL BE EFFECTIVELY BRACED FIRE STOPPING AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED

GLUE-LAM: DOUGHLAS FIR-LARCH COMBINATION GRADE 24FD/V4.DF/DF,W/Fb= 2,400 PSI (UNO) BEAMS TO LAID UP IN APPROVED WATER RESISTANCE GLUE LAM SHALL BE OBTAINED WITH AN APPROVED FABRICATOR.

WALL FRAMING

WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE, END NAIL TOP PLATE TO EACH STUB WITH 2-16d NAILS: FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP A MIN 4' AT JOINST AND PROVIDE 16d @ 4" O.C.

CORNER POST SHALL BE CONSTRUCTED OF NOT LESS THAN 3 STUBS NAILED TOGETHER TO FORM A SINGLE UNIT AND SET SO AS TO RECIEVE INTERIOR FINISH PER PLAN. NAIL BOTTOM PLATE FROM STUB WALL ABOVE TO WOOD FRAMING BELOW WITH 16d @ 12" O.C. BUILT-UP POST SHALL BE NAILED TO EACH OTHER WITH 16d @ O.C. STAGGER. INSTALL SHIMMING WHERE NECESSARY TO LEVEL AND SILL PLATE OR PONY WALL TO A 1/4". WHEN INSTALLING THE SILL, MAKE SURE BUILDING IS SQUARE TO 1/4"=/-

EXTERIOR BEARING WALLS 2X6X @16"O.C. INTERIOR BEARING WALLS 2X4X a16"O.C. INSTALL FIRE BLOCKING A BATHTUB INSTALL A 2X4 VERTICAL AT EACH END OF THE TUBE FOR BACKING INSTALL BLOCKING @48" FROM FLOOR FOR TOWEL BAR INSTALL BLOCKING @7: HORIZONTAL FOR KITCHEN CABINETS

ANY CRIPPLE WALL LESS THAN 14" SHALL BE SOLID STAIRS: MINIMUM WIDTH MAXIMUM RISE MINIMUM RUN.... MINIMUM HEAD ROOM TOP OF HANDRAIL ABOVE TREND NOSING.....

HANDRAIL GRASPING DIMENSION1 1/4" MIN TO 2" MAX HANDRAIL HEIGHT REQUIRED36" MIN HANDRAIL FROM WALL. 4" MAX CLEAR SPACE BETWEEN INTERMEDIATE RAILS

FOR WINDING STAIRS PROVIDE A MIN 10" TREAT AT 12" FROM THE NARROWEST POINT AND A MIN 6" TREAD AT THE NARROWEST POINT.

GUARDRAIL REQUIRED FOR WALKING SURFACES 30" ABOVE ADJACENT GRADE.

FLOOR FRAMING

ONLY GALVANIZED NAILS OR SCREW ALLOW IN FLOOR SYSTEM FLOOR SHEATHING WITH 3/4" X4" X8" T&G PLYWOOD (INDEX 32XI6) INSTALLED WITH THE FACE GRAIN TO THE JOIST AND THE JOINTS TO BE STAGGERED SUPPORT AREAS WHERE CUTS HAVE BEEN MADE. FLOOR JOIST ON TOP PLATE WITH 3-16d TOENAIL DOUBLE JOIST UNDER ALL PARALLEL BEARING WALLS

BLOCKING PROVIDE SOLID BLOCKING @ FLOOR JOIST OVER BEARING WALLS HOLES BORED IN JOISTS SHALL NOT EXCEED 2" FROM TOP OR BOTTOM HATCH ON JOISTS SHALL NOT EXCEED ONE FOURTH OF JOISTS DEPTH JOIST SHALL HAVE A BEARING ON 1 1/2" MIN ON WOOD OR METAL AND 3" ON

PROVIDE SUPPORT BELOW, FOR WOOD COLUMN THROUGH FLOORS WITH SOLID

MASSONRY JOISTS FROM OPPOSITE SIDES SHALL BE LAPPED 3" MIN. AND NAILS WITH 3-16d NAILS

NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16d @ 12" O.C., STAGGERED

FLOOR SHEATHING NAILING PER IRC TABLE 602.3(1)

	CONNECTION	FASTENING	LOC	CATION		
1.	BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	3-8d COMMON (2-1/2" x 0.131")	EACH END, TOENAIL			
	BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES NOT AT THE WALL TOP PLATE, TO RAFTER OR TRUSS	2-8d COMMON (2-1/2" x 0.131") 2-16d COMMON (3-1/2x0.162")	EACH END, TO END NAIL	DENAIL		
	FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON (3-1/2" x 0.162") @ 6" O.C.	FACE NAIL			
2.	CEILING JOISTS TO TOP PLATE	3-8d COMMON (2-1/2" x 0.131")	EACH JOIST,	TOENAIL		
3.	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (NO THRUST) (SEE SECTION 2308.7.3.1, TABLE 2308.7.3.1)	3-16d COMMON (3-1/2" x 0.162")	FACE NAIL			
5.	COLLAR TIE TO RAFTER	3-10d COMMON (3" x 0.148")	FACE NAIL	FACE NAIL		
6.	RAFTER OR ROOF TRUSS TO TOP PLATE (SEE SECTION 2308.7.5, TABLE 2308.7.5)	3-10d COMMON (3" x 0.148")	TOENAILC			
7.	ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO 2-INCH RIDGE BEAM	2-16d COMMON (3-1/2x0.162") 3-10d COMMON (3" x 0.148")	EACH END TOENAIL			
8.	STUD TO STUD (NOT AT BRACED WALL PANELS)	10d BOX (3" x 0.128")	16" O.C. FACE	NAIL		
9.	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3-1/2" x 0.162")	16" O.C. FACE	NAIL		
10.	BUILT-UP HEADER (2" TO 2" HEADER)	16d COMMON (3-1/2" x 0.162")	16" O.C. EACH FACE NAIL	EDGE		
11.	CONTINUOUS HEADER TO STUD	4-8d COMMON (2-1/2" x 0.131")	TOENAIL			
12.	TOP PLATE TO TOP PLATE	16d COMMON (3-1/2" x 0.162")	16" O.C. FACE	NAIL		
13.	TOP PLATE TO TOP PLATE, AT END JOINTS	8-16d COMMON	EACH SIDE OF			
		(3-1/2" x 0.162")		INIMUM 24" LAP TH EACH SIDE Γ)		
14.	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3-1/2" x 0.162")	16" O.C. FACE	NAIL		
15.	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	2-16d COMMON (3-1/2" x 0.162")	16" O.C. FACE	NAIL		
16.	STUD TO TOP OR BOTTOM PLATE	4-8d COMMON (2-1/2" x 0.131") 2-16d COMMON (3-1/2"x0.162")	TOENAIL END NAIL			
17.	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2-16d COMMON (3-1/2" x 0.162")	FACE NAIL			
18.	1" BRACE TO EACH STUD AND PLATE	2-8d COMMON (2-1/2" x 0.131")	FACE NAIL	FACE NAIL		
19.	1" x 6" SHEATHING TO EACH BEARING	2-8d COMMON (2-1/2" x 0.131")	FACE NAIL			
20.	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d COMMON (2-1/2" x 0.131")	FACE NAIL			
21.	JOIST TO SILL, TOP PLATE, OR GIRDER	3-8d COMMON (2-1/2" x 0.131")	TOENAIL			
22.	RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER FRAMING BELOW	8d COMMON (2-1/2" x 0.131")	6" O.C. TOENAIL			
23.	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2-1/2" x 0.131")	FACE NAIL			
26.	BUILT-UP GIRDER AND BEAMS, 2" LUMBER LAYERS	10d BOX (3" x 0.128")		NAIL AT TOP AGGERED ON		
		3-10d BOX (3" x 0.128")	ENDS & AT EA			
27.	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3-1/2" x 0.162")	EACH JOIST OF	OR RAFTER,		
28.	JOIST TO BAND JOIST OR RIM JOIST	3-16d COMMON (3-1/2" x 0.162")	END NAIL			
29.	BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	2-8d COMMON (2-1/2" x 0.131")	EACH END, TO	DENAIL		
		(2.12.10.101)	EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)		
30.	3/8" - 1/2"	8d COMMON OR DEFORMED (2-1/2" x 0.131")	6	12		
31.	19/32" - 3/4"	8d COMMON (2-1/2" x 0.131")	6	12		
32.	7/8" - 1-1/4"	10d COMMON (3" x 0.148")	6	12		
33.	1/2" FIBERBOARD SHEATHING ^B	1-1/2" GALVANIZED ROOFING NAIL (7/16" HEAD Ø)	3 6			
34.	25-32" FIBERBOARD SHEATHING ^B	1-3/4" GALVANIZED ROOFING NAIL (7/16" HEAD Ø)	3	6		
36.	7/8" - 1"	8d COMMON (2-1/2" x 0.131")	6	12		
37.	1-1/8" - 1-1/4"	10d COMMON (3" x 0.148")	6	12		
38.	1/2" OR LESS	6d CORROSION-RESISTANT SIDING (1-7/8" x 0.106")	6	12		
39.	5/8"	8d CORROSION-RESISTANT SIDING (2-3/8" x 0.128")	6	12		
40.	1/4"	4d CASING (1-1/2" x 0.080")	6	12		
	3/8"	6d CASING (2" x 0.099")	6	12		

SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.

SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

FLOOR FRAMING

ONLY GALVANIZED NAILS OR SCREW ALLOW IN FLOOR SYSTEM FLOOR SHEATHING WITH 3/4" X4" X8" T&G PLYWOOD (INDEX 32XI6) INSTALLED WITH THE FACE GRAIN TO THE JOIST AND THE JOINTS TO BE STAGGERED SUPPORT AREAS WHERE CUTS HAVE BEEN MADE.

FLOOR JOIST ON TOP PLATE WITH 3-16d TOENAIL DOUBLE JOIST UNDER ALL PARALLEL BEARING WALLS PROVIDE SUPPORT BELOW, FOR WOOD COLUMN THROUGH FLOORS WITH SOLID

RSRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS IN ASTM F166

BLOCKING PROVIDE SOLID BLOCKING @ FLOOR JOIST OVER BEARING WALLS HOLES BORED IN JOISTS SHALL NOT EXCEED 2" FROM TOP OR BOTTOM HATCH ON JOISTS SHALL NOT EXCEED ONE FOURTH OF JOISTS DEPTH JOIST SHALL HAVE A BEARING ON 1 1/2" MIN ON WOOD OR METAL AND 3" ON

MASSONRY JOISTS FROM OPPOSITE SIDES SHALL BE LAPPED 3" MIN. AND NAILS WITH 3-16d

NAILS NAIL ALL MULTY-JOIST BEAMS TOGETHER WITH 16d @ 12" O.C., STAGGERED FLOOR SHEATHING NAILING PER IRC TABLE 602.3(1)

STRUCTURAL STEEL

DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "AISC" SPECIFICATION FOR DESIGN, FABRICATION, AND ERECTION FOR STRUCTURAL STEEL OF BUILDINGS. THIS IS THE 13TH EDITION AISC 360-05 AND AISC 341-*0*5

MATERIAL SHALL BE IN ACCORDANCE WITH THE FOLLOWING: STRUCTURAL W SHAPES: ASTM A992 FY=5ØKSI PLATE MATERIAL ASTM A36 PIPE ASTEM A 53 FY = 46KSI

WELDING ELECTRODES ETO-XX HIGH STRENGTH BOLTS ASTM A-325N BEARING (SNUG

ANCHOR BOLTS ASTM A307

ALL WELDING CONNECTION SHALL BE IN ACCORDANCE WITH AWS DI! "STRUCTURAL WELDING CODES"

ALL WELDING SHALL BE PERFORMED BY A WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO) AND AMERICAN SOCIETY 9AWSO CERTIFIED WELDERS. ALL COMPLETE PENETRATION QWLDS SHALL BE ULTRASONICALLY TESTED. ALL FILLET WELDS SHALL BE VISUALLY EXAMINED BY THE INSPECTOR.

STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION IN COMPLIANCE WITH ASTM A-123. ALL FIELD WELDS EXPOSED TO WEATHER SHALL BE COATED WITH BRUSH APPLIED ZINC RICH PAINT COMPLYING WITH ASTM A-780.

THE SUBJECT BEAM TO BE IN MINIMUM OF 50KSI YIELD STRENGTH.

SPECIAL INSPECTIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL INSPECTIONS REQUIRED BY THE LOCAL BUILDING DEPARTMENT. IN ADDITION TO INSPECTIONS REQUIRED BY THE LOCAL BUILDING DEPARTMENT, THE OWNER OR A REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNERS AGENT SHALL EMPLOYT ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS FOR ITEMS NOTED IN IBC SECTION 1703 WHICH ARE SUMMARIZED IN THE SPECIAL INSPECTION SCHEDULE BY THE CONTRACTOR.

THE SPECIAL INSPECTOR SHALL BE QUALIFIED PERSON EMPLOYED BY AN APPROVED AGENCY, THE SPECIAL INSPECTOR SHALL KEEP RECORD OF INSPECTIONS AND FURNISH THEM TO THE BUILDING OFFICIAL AND THE ENGINEER OF RECORD OF REGULAR BASIS, A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND THE CORRECTION OF ANY DISCREPANCIES SHALL BE PROVIDED PRIOR TO COMPLETION OF BUILDING FINISHES. WHERE FABRICATION OF STRUCTURAL COMPONENTS AND ASSEMBLIES IS BEING PERFORMED ON THE PROMISES OF A FABRICATORS SHOP, SPECIAL INSPECTION OF FABRICATED ITEMS SHALL BE REQUIRED EXCEPT WHERE THE FABRICATOR IS.

REGISTERED AND APPROVED TO DO SUCH WORK WITHOUT SPECIAL INSPECTION IN ACCORDANCE WITH IBC SECTION 1704.2.2. PERIODIC INSPECTION ALLOWS INSPECTION AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS CONTINUOUS SPECIAL INSPECTION REQUIRES THAT THE INSPECTOR BE ONSIDE AT ALL TIMES THAT WORK REQUIRING SPECIAL INSPECTION IS PERFORMED.

MANUFACTURED TRUSS NOTES:

- 1) SHALL NOT BE ALTERED WITHOUT ENGINEER'S APPROVAL
- 2) SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
- 3) SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION 4) SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- 5) IF AN ENGINEERED ROOF FRAMING LAYOUT IS PROVIDED BY THE TRUSS SUPPLIER, THAT TRUSS LAYOUT SHALL SUPERCEDE THE TRUSS LAYOUT INDICATED IN THE PLANS.
- 6) PROVIDE TRUSS LAYOUT AND SPECS ON SITE FOR INSPECTION. 1) PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED
- 8) TRUSSES CONNECTED TO WALLS W/ H-1 SIMPSON TIE
- 10) ROOF DIAPHRAGM 1/16" O.S.B. W/ 8d @ 6" O.C. EDGES \$ 12" O.C. FIELD (UNBLOCKED)

- ROOF FRAMING NOTES: 1) ALL DOOR/ WINDOW HDRS TO BE 4x8 OR 6x8 DF#2 AT 2x6 LBWS, U.N.O.
- 2) ALL DOOR/ WINDOW HDRS TO BE 4x8 HF#2 AT 2x4 LBWS, U.N.O.
- 3) PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- 4) EXTERIOR WALLS TO BE 2x6 AT 16" O.C. U.N.O. 5) INTERIOR PARTITIONS TO BE 2x4 AT 16" O.C. (2x6 @ PLUMBING WALLS) U.N.O.
- 6) PROVIDE SUPPLEMENTAL JOISTS/ BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN.
- 1) PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED
- (U.N.O.) 8) ALL BBOS AND POSTS TO CONNECT TO POSTS W/ POSITIVE CONNECTION
- 9) POST TO EXTEND TO BELOW AND THROUGH FLOORS TO BELOW DOWN TO FOUNDATION 10) ROOF DIAPHRAGM 1/16" OSB W/8d @ 6" O.C. EDGES & 12" O.C. FIELD (UNBLOCKED), U.N.O.
- 11) LBWS ARE INDICATED AS SHADED R#A & AM BBOS LVL, OR PSL 2.0, FB = 2900 PS.
- 12) PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/ RAFTER BAYS
- 13) ROOF TRUSS TO BE CONNECTED TO WALL W/ H-1 (OR) H-2.5 TIE
- 14) FOR TWO PLY HIPS LGT2 15) FOR 3 PLY GIRDERS LGT3

FLOOR FRAMING NOTES:

- 1) ALL EXTERIOR DOOR/WINDOW HDRS TO BE 4x10 OR 6x8 DF#2 U.N.O.
- 2) ALL INTERIOR DOOR/ WINDOW HDRS TO BE 4x10 DF#2 AT 2x4 BEARING B) PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- 4) EXTERIOR WALLS TO BE 2x6 AT 16" O.C., U.N.O. 5) INTERIOR PARTITIONS TO BE 2x4 AT 16" O.C. (2x6 FOR PLUMBING WALLS)
- 6) PROVIDE SUPPLEMENTAL JOISTS/ BLOCKING BELOW SHEAR WALLS AS
- INDICATED ON FRAMING PLAN 1) PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING
- SUPPORTED (U.N.O.) 8) GLUE LAM BBO 24F-V4, FB= 2400PSI, PSL BBOS USE PSL 2.0E FB=2900PSI, VERSA LAM ARE VERSA LAM 2.0E 3100, FB=3100PSI AND LVL TO HAVE
- FB=2900PSI 9) ALL BBOS AND POSTS TO CONNECT TO POSTS W/ POSITIVE CONNECTION
- 10) POSTS TO EXTEND TO BELOW CONTINUOUS OR WITH EQUAL SIZE BLOCKING THROUGH FLOORS TO BELOW AND DOWN TO FOUNDATION 11) FLOOR DIAPHRAM 3/4"T&G PLYWOOD W/ 8D Ø 6" O.C. EDGES & 12" O.C FIELD
- (UNBLOCKED), UNO

12) LBWS ARE INDICATED AS SHADED

- FOUNDATION NOTES: 1) ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- 2) SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS 3) PROVIDE SOLID BLOCKING OVER SUPPORTS
- 4) ALL FOOTINGS TO REST ON UNDISTURBED SOIL 5) PROVIDE SUPPLEMENTAL JOISTS/ BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- 6) PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.) 1) PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY
- BUILDING OFFICIAL 8) SOILS BEARING CAPACITY 1500 psf, TO BE VERIFIED BY OTHER
- 9) CONCRETE 2500PSI AT 29 DAYS
- 10) CONCRETE 3000PSI AT 29 DAYS F EXPOSED 11) USE WASHERS 3"X3"X3/8"
- 12) SEE ALL HOLDOWNS TYPE AND LOCATIONS AS PER THE MAIN FLOOR SHEAR WALL PLAN

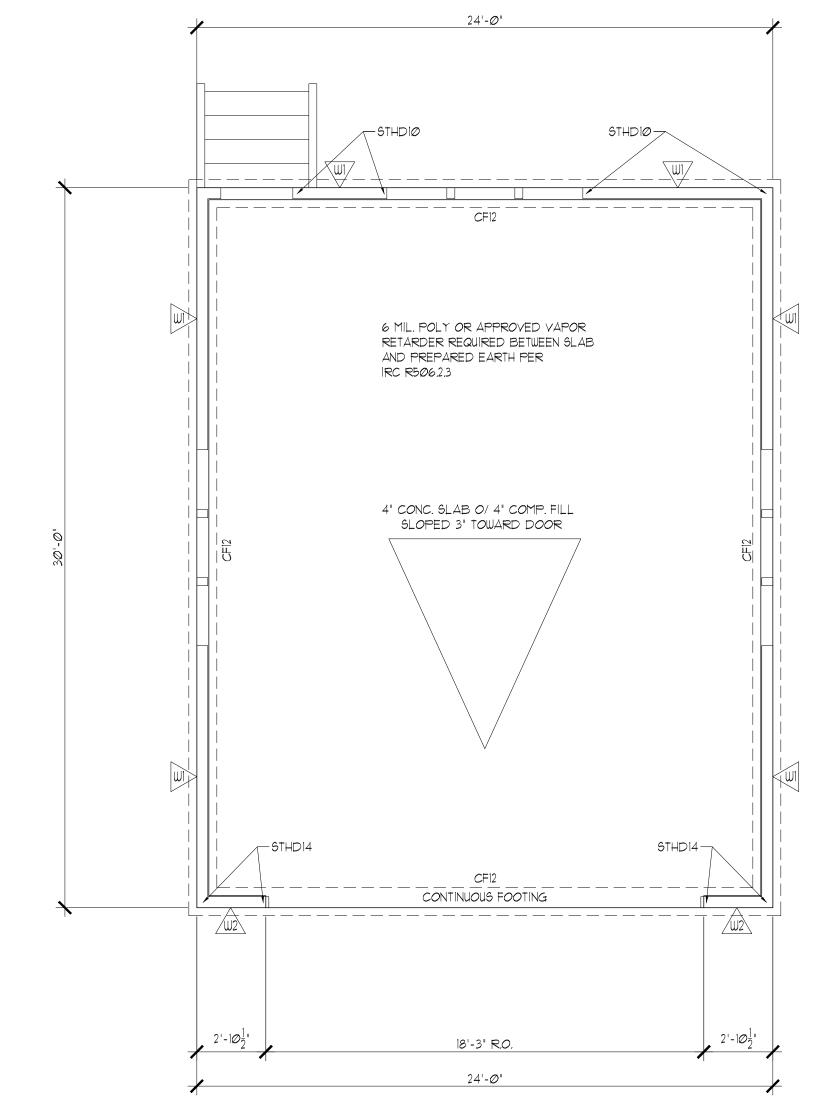
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(2)2X6 BEARING STUDS BELOW BM 4×8 CONT. KING STUDS (2)2X6 BEARING (2) 2×6 KING STUDS (2) 2×6 KING STUDS (2)2X6 BEARING STUDS BELOW BM STUDS BELOW BM MFR. STORAGE TRUSSES & 24" O.C. (TYP.) (U.N.O.) (SEE TRUSS ENGINEERING FOR ADDITIONAL INFORMATION) 5 1/2 × 10 1/2 GLB (3)2×6



FOUNDATION PLAN

ALL CONNECTIONS TO SPECIFIED AND/ OR VERIFIED BY JOIST MANUFACTURER.

NOTE: ALL SOLID SAWN BEAMS TO BE DF#2 OR BETTER.

-NO HVAC DUCTWORK SHALL BE INSTALLED IN CRAWL SPACE

1/4"=1'-0"



ROOF FRAMING PLAN

NOTE: ALL OVERFRAMED RAFTERS TO BE 2x6-24" O.C. FOR SPANS UP TO 8'-0", 2x8-24" O.C. FOR SPANS UP TO 11'-0", 2x10-24" O.C. FOR SPANS UP TO 14'-0".

ALL CONNECTIONS TO SPECIFIED AND/OR VERIFIED BY TRUSS MANUFACTURER.

NOTE: ALL SOLID SAWN BEAMS TO BE DF#2 OR BETTER.

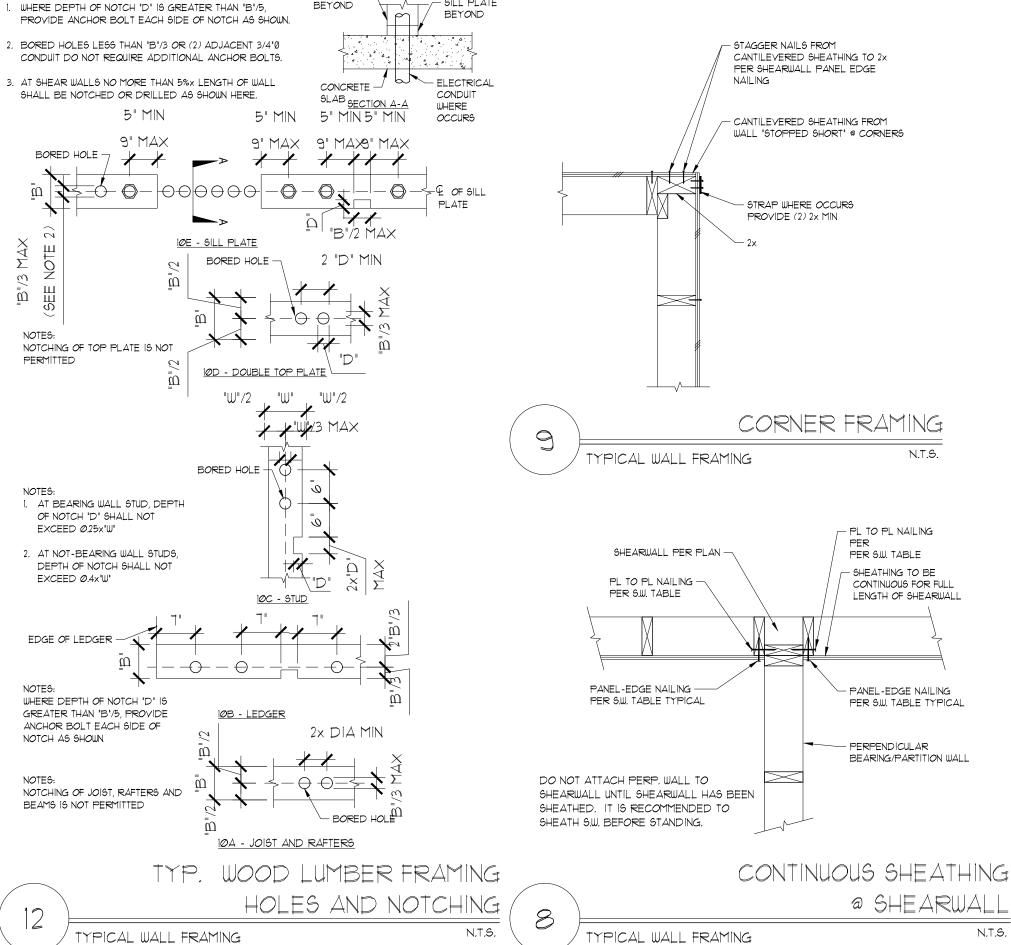
NOTE: ENGINEERING FOR SUPPORT OF ROOF FRAMIONG IS BASED ON THE PROVIDED ROOF TRUSS LAYOUT. VERIFY CONSISTENCY WITH TRUSS MANUFACTURER'S ENGINEERING/LAYOUT WHEN AVAILABLE.

KING STUDS

03/28/25 20 ah Date: Revisi







- 2x6 BLOCKOUT FOR

DOOR THRESHOLD

- *30 BLDG. PAPER

SECTION @ DOORWAY

8" EQ.

TYP EXTERIOR FOUNDATION @ GARAGE

WIDTH PER SCHED.

BETWEEN WALL & SLAB

N.T.S.

NOTE: STRUCTURAL FILL

UNDER FOOTINGS & SLAB

PER SOILS REPORT TYP

— E.N. PER S.W. TABLE

— CONT. BOTTOM BARS PER

7/63.0 W/ 90° STD HOOK

N.T.S.

INTO PERP FND BEYOND

- SHEATHING WHERE SHOWN ON PLAN

- TREATED SILL PLATE PER S.W. TABLE

4" SLAB ON GRADE -SLOPE PER ARCH

4" CONC, SLAB \neg

RIGID INSUL PER ARCH

SLAB ON GRADE

A.B. PER S.W. TABLE —

CJ INDICATES OPTIONAL

ROUGHEN TO 1/4" AMPLITUDE

PRIOR TO 2ND POUR TYP

4" SLAB *O*N GRADE —

*4 HORIZ. @ TOP -

(1)-#4 VERT @ 48" O.C. W/ — ALT STD HOOK

VARIES

CONSTRUCTION JOINT

HOLDOWN TABLE BOUNDARY ANCHOR EMBEDDED CIP ANCHOR EPOXY ANCHOR ELEMENT DIAMETER ANCHOR PLATE SIZE EMBEDMENT EMBED (ALTERNATE) MST48 N/A N/A N/A N/A 4× MST60 N/A N/A LSTHD8(RJ) (2)2xN/A N/A STHD10(RJ) (2)2× N/A N/A N/A STHD14(RJ) (2)2xN/A N/A N/A HDU2 $4\times$ 5/8"? 3"x3"x1/4" 18" HDU4 5/8"? 3"x3"x1/4" 18" HDU5 5/8"? 3"x3"x1/4" HDUS 7/8"? 3-1/2"x3-1/2"x3/8" 6× N/A HDUII 1"? 4-1/2"×4-1/2"×1/2" N/A 6× HDU14 5"x5"x1/2"

MARK

W3

COMPONENTS

1/16" PWD OR OSB, BLOCKED, W/ 8d NAILS @ 6" O.C. @ PANEL EDGES

1/16" PWD OR OSB, BLOCKED, W/ 8d NAILS @ 4" O.C. @ PANEL EDGES

1/16" PWD OR OSB, BLOCKED, W/ 8d NAILS @ 3" O.C. @ PANEL EDGES

 $\mbox{1/16"}$ PWD OR OSB, BLOCKED, W/ 8d NAILS @ 2" O.C. @ PANEL EDGES

7/16' PWD OR OSB, (2) LAYERS (ONE EACH SIDE) BLOCKED, W/ 8d NAILS @

1/16" PWD OR OSB, (2) LAYERS (ONE EACH SIDE) BLOCKED, W/ 8d NAILS @ 3" O.C. @

1/16" PWD OR OSB, (2) LAYERS (ONE EACH SIDE) BLOCKED, W/ 8d NAILS @ 2" O.C. @

WHERE INDICATED ABOVE, USE 3x1/6 STUDS AT ALL ABUTTING PANEL EDGES. NAILS SHALL BE STAGGERED WHERE NAILS ARE SPACED AT 2" O.C...

SIMPSON A35 OR LTP4 CLIP ANGLES SHALL BE INSTALLED WITH THE APPROPRIATE FASTENERS PER THE MANUFACTURER'S SPECIFICATIONS.

14. (2) ROWS OF Ø.148" x 3" STITCH NAILING (2)2x½ STUDS TOGETHER ® 10" O.C. FOR W3 SHW, 8" O.C. FOR W4 SHW, 6" O.C. FOR W5 SHW \$ 4" O.C. FOR W6 SHW.

4. IF CALLOUT REQUIRES BLOCKING, SHEATHING MAY BE PLACED WITH THE LONGITUDINAL DIRECTION VERTICAL. STUDS AND PLATES WILL BE CONSIDERED TO ACT AS BLOCKING.
5. WALL SHEATHING CALLED OUT SHALL EXTEND FOR ENTIRE WALL LENGTH AT THAT ELEVATION AND SHALL BE CONTINUOUS AROUND OPENINGS TYPICALLY.

6. 8d NAILS ARE TO BE .131" AND 2-1/2" IN LENGTH. 10d NAILS ARE TO BE .148" AND A MINIMUM OF 3" IN LENGTH. 16d NAILS ARE TO BE .162" AND 3-1/4" IN LENGTH. NAILS SHALL BE INSTALLED

II. MINIMUM NAIL SPACING IN A SINGLE ROW SHALL BE 4 INCHES ON CENTER. USE (2) ROWS IF SPACING LESS THAN THIS, USE 2ND RIM BOARD, RIM JOIST OR BLOCKING WHERE THREE ROWS OF

12. EXTEND SHEATHING UP TO DOUBLE TOP PLATES AND INSTALL NAILS THROUGH SHEATHING INTO UPPER TOP PLATE PER TYPICAL DETAILS. NO PLATE TO PLATE NAILING REQUIRED IN DOUBLE

15. WHERE PANELS ARE APPLIED ON BOTH FACES OF A SHEARWALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING

USE 3'x3'x0229' PLATE WASHERS AT 2x4 WALL AND 3'x4-1/2'x0229' AT 2x6 WALLS AT ALL ANCHOR BOLTS PER ANSI/US NDS & SDPWS - 2015 SECTION 4.3.6.4.3 . NOTE: FOR W3-W5 PLATE WASHER

4" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2, 3 AND 15

PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2, 3 AND 15

PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2, 3 AND 15

3. WHERE INDICATED ABOVE, SEE NOTE 2, SEE NOTES 13 & 14 FOR (2)2x1/2 OPTION.

10. FRAMING AT SHEARWALLS SHALL BE SPACED NO FARTHER THAN 16" O.C.,

SHALL EXTEND TO WITH IN 1/2" OF THE EDGE OF BOTTOM PLATE ON SIDES WITH SHEATHING.

9. SPACING SHOWN ABOVE FOR ANCHOR BOLTS, NAILING AND CLIPS IS MAXIMUM AMOUNT ALLOWED.

13. OPTIONAL TO USE (2) 2x's IN PLACE OF SINGLE 3x IN SHEARWALLS W3, W4, W5 AND W6 W/ STITCH NAILING.

AND @ 12" O.C. @ FIELD.

AND @ 12" O.C. @ FIELD.

AND @ 12" O.C. @ FIELD. SEE NOTES 2 AND 3

AND @ 12" O.C. @ FIELD. SEE NOTES 2 AND 3

ALL NAILING PER ANSI/AWS NDS & SDPWS - 2015 TABLE 4.3A

SO AS TO NOT SPLIT THE TIMBER FRAMING.

IN A SINGLE ROW

PER NOTE II

TOP PLATES WITH THIS CONFIGURATION.

TYPICAL WALL FRAMING

(6) 16d TY

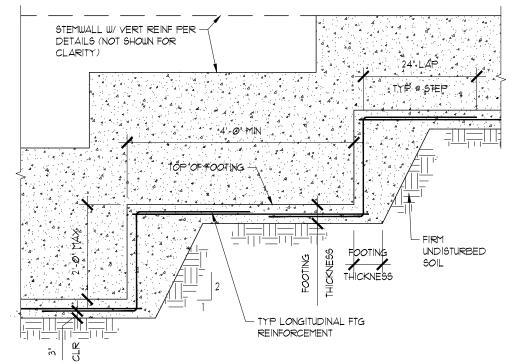
(4) 16d TYP -

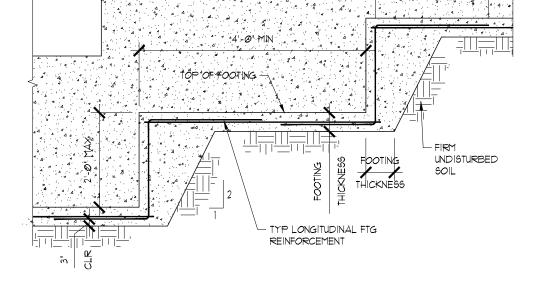
DROPPED FRAMING AS REQ'D -

FOR HEAD ELEVATION

- 1. STRAP HOLDOWNS MAY BE APPLIED DIRECTLY TO BOUNDARY MEMBER ON OPPOSITE SIDE OF SHEATHING OR APPLIED DIRECTLY OVER PWD/05B SHEATHING. DO NOT INSTALL STRAPS UNDER WOOD SHEATHING OF ANY TYPE OR OVER GYPSUM SHEATHING. 2. NAIL SHEATHING PER SHEARWALL TABLE TO EACH BOUNDARY ELEMENT PER TABLE ABOVE. STRAP
- NAILING REPLACES SHEARWALL NAILING FOR THE LENGTH OF THE STRAP. 3. ALIGN FLOOR TO FLOOR STRAPS WITH HOLDOWNS AT FOUNDATION, TYP. 4. HOLDOWNS/STRAPS MUST BE ATTACHED TO FULL HEIGHT STUDS UNLESS NOTED OTHERWISE. BOUNDARY ELEMENTS ARE IN ADDITION TO TRIMMER/BEARING STUDS CALLED OUT ON PLAN. 5. ANCHOR BOLTS MAY BE CAST IN PLACE. FOR CAST IN PLACE APPLICATIONS, USE A STANDARD WASHER WITH A STANDARD NUT ON EACH SIDE AT BOTTOM OF ANCHOR. EMBEDMENTS PER TABLE ABOVE ARE
- REFERENCED FROM THE EMBEDED WASHER LOCATION. 6. THREADED RODS/ANCHORS ARE ASTM A307. 1. STRAPS/HOLDOWNS SHALL BE INSTALLED WITH THE FASTENERS SPECIFIED BY THE MANUFACTURER TO ACHIEVE THE MAXIMUM TABULATED LOAD.

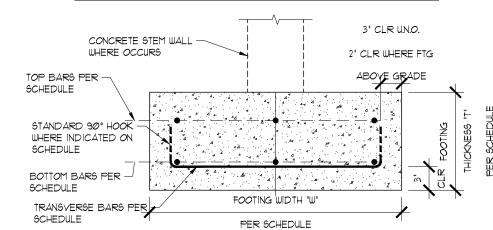


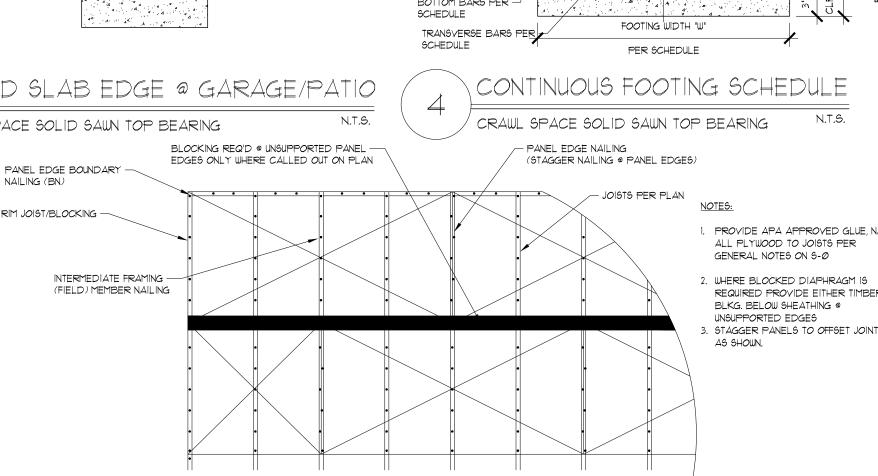






MARK	"W"	"T"	BOTTOM BARS	TOP BARS	TRANSVERSE BARS
CF12	12 in	8 in	(2)- #4 CONT.	N/A	N/A
CF16	16 in	8 in	(2)- #4 CONT.	N/A	N/A
CF18	18 in	8 in	(2)- #4 CONT.	N/A	N/A
CF21	21 in	8 in	(2)- #4 CONT.	N/A	N/A
CF24	24 in	12 in	(3)- #4 CONT.	N/A	N/A
CF3Ø	3Ø in	12 in	(3)- #4 CONT.	N/A	N/A
			^		





TYPICAL	HORIZONTAL	PLYWOOD	DIAPHRAGM	LAYOU

TYPICAL WALL FRAMING

TYPICAL WALL FRAMING

. PROVIDE APA APPROVED GLUE, NAIL 2. WHERE BLOCKED DIAPHRAGM IS REQUIRED PROVIDE EITHER TIMBER . STAGGER PANELS TO OFFSET JOINTS

NO SW OCCURS OPENINGS, TO EACH END OF WALL.

- STUDS PER HOLDOWN TABLE, TYP. MIN (2) 2x STUDS

PANEL EDGE NAILING TO HOLDOWN STUDS (ALL) &

WINDOW JAMBS (FULL HEIGHT)

WALL CONSTRUCTION

SHEARWALL PER PLAN

N.T.S.

CONT FTG @ GARAGE -DOOR SEE 10/S-2 CRAWL SPACE SOLID SAWN TOP BEARING

PANEL EDGE BOUNDARY -NAILING (BN) RIM JOIST/BLOCKING -

- #4x6'-0" EXTEND 24" PAST OPENING HOOK BARS THAT CANNOT BE EXTENDED

> - EXTEND INTO STEMWALL BEYOND 32" MIN. @ GARAGE

-(2)-#4 CONT

- SHEARWALL CALLOUT PER PLAN -SAME AT ALL SIDES, TOP & BOTTOM OF

OPENING WIDTH SIZE

SHEARWALL COMPONENT TABLE

TO CONCRETE

SPACING

(IN)

47" O.C.

32" O.C.

25" O.C.

19" O.C.

32" O.C.

12" O.C.

5/8" A.B. PL

TO CONCRETE

SPACING

(IN)

68" O.C.

47" O.C.

36" O.C.

28" O.C.

47 O.C.

18" O.C.

14" O.C.

10d COMMON

PL TO PL

SPACING

8.1" O.C.

5.5" O.C.

4.3" O.C.

6.6" O.C. EA ROW

11.1" O.C. EA ROW

(2) ROWS

4.3" O.C. EA ROW

(2) **ROWS**

3.3" O.C. EA ROW

SIMPSON LTP4

CLIP ANGLE

SPACING

31" O.C.

21" O.C.

16" O.C.

12" O.C.

21'' O.C.

8" O.C.

6" O.C.

SIMPSON A35

CLIP ANGLE

SPACING

28" O.C.

19" O.C.

15" O.C.

11" O.C.

9" O.C.

7" O.C.

6" O.C.

SHEARWALL TABLE AND NOTES

- SPLICE TOP CHORDS PER 2021 IBC

TYP PLATE HEIGHT

HEADER PER PLAN

- FULL HEIGHT STUD (KING

STUD) PER PLAN

BEARING STUD

- SILL PER SCHEDULE

PLAN. SEE 5/SI.I

SHOWN, STHD SIM.

ELEVATION

TYP FLOOR

(TRIMMER) PER PLAN

HOLD DOWN WHERE OCCURS PER

HOLDOWN PER PLAN, HDU

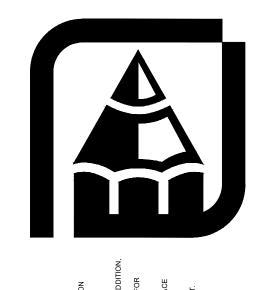
— 1/2"ø OR 5/8"ø A.B. @ 6'-Ø" O.C. MAX WHERE



N.T.S.

ROOF FRAMING - TRUSSES

POOF FRAMING - TRUSSES



2024

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문

 \triangle 03/28/25 Plan: G-720 Job#: Li, Deborah Date: 10/29/24 Revision Date: 03/2 Drawn by: BP Phone: (253) 250-2

N.T.S.