

Landmarks Preservation Commission

Planning and Development Services Department



747 Market Street | Room 345 | Tacoma WA 98402-3793 | 253.591.5220

APPLICATION FOR DESIGN REVIEW

Permit Number: HDR25-0012

PROPERTY INFORMATION

Building/Property Name:	New Detached Garage
Building/Property Address:	1112 N M ST
Historic/Conservation District:	North Slope
Applicant's Name:	Deborah Li
Applicant's Address:	1112 N M ST Tacoma, WA 98403
Applicant's Phone:	2532413388
Applicant's Email:	guangdeb@gmail.com
Property Owner's Name:	LI DEBORAH E & YANGGUANG

PROJECT SCOPE AND DESCRIPTION

Project Details

Application Type:	Residential
Type of Work:	Detached Garage
Estimated Valuation:	47000

Application Checklist

Features to be Modified:
REmove existing garage

Program of Work:

Specifications of Materials and Finishes:

per attached plan

Building/Roofing Information

Roof Height: 24
Roof Pitch: 0.41
Roof Material: 30 year laminated compositing roofing with continuous ridge vent,
Size of Construction: eave metal and rake metal up the gables

Proposed Material:
8 ¼" Hardiplank Smooth siding on walls

Exterior Material:
8 ¼" Hardiplank Smooth siding on walls

Window Information

Window Types:
Milgard white vinyl windows with standard grid

Window Trim:
See plan

Window Material:
Milgard white vinyl windows with standard grid

Window Locations:
See plan

Door Information

Door Types:
36" 6 panel fiberglass
18x8 metal R7 with smooth back and top glass panels with standard grid

Door Materials:
36" 6 panel fiberglass
18x8 metal R7 with smooth back and top glass panels with standard grid

Door Locations:
See plan

Sign/Awning Information

Existing Signage:

Sign Dimensions:

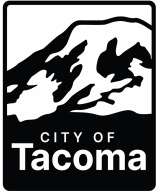
Sign Material:

Logo and Letter Size:

Lighting Specifications:

Removing or Relocating Signage:

Method of Attachment:



Submittal Information

Permit: HDR25-0012

Applied: 04/14/2025

Planning & Development Services

747 Market St.

Tacoma, WA 98402

ACCOUNTING

SAP Cost Object

ADDITIONAL INFORMATION

Door Locations	See plan
Door Materials	36" 6 panel fiberglass 18x8 metal R7 with smooth back and top glass panels with standard grid
Door Types	36" 6 panel fiberglass 18x8 metal R7 with smooth back and top glass panels with standard grid
Exterior Material	8 1/4" Hardiplank Cedarmill siding on walls
Proposed Material	8 1/4" Hardiplank Cedarmill siding on walls
Roof Height	24
Roof Material	30 year laminated compositing roofing with continuous ridge vent, eave metal and rake metal up the gables
Roof Pitch	0.41
Size of Construction	720 square feet
Window Locations	See plan
Window Material	Milgard white vinyl windows with standard grid
Window Trim	See plan
Window Types	Milgard white vinyl windows with standard grid

APPLICATION CHECKLIST

Elevation Drawings	CHECKED
Features to be Modified	REmove existing garage
Illustrations	CHECKED
Material Samples	CHECKED
Photographs	CHECKED
Site Plan	CHECKED
Specifications of Materials and Finishes	per attached plan

HISTORIC DISTRICT

District	North Slope
Guideline Certification	CHECKED

PARCEL AND ZONING INFORMATION

Accessibility Index	High
BLDINSPAREA	North
City Council District	2
Economy Index	Very High
Education Index	High
Erosion Control Inspector	Jenna Warner
Historic District	Y
Land Use Designations	Low-Scale Residential
Liquefaction Susceptibility	very low
Livability Index	Very High
Neighborhood Council District	North End
Overall Equity Index	High
SITEINSPAREA	North
Wastewater Subbasin	N04
Wind Zone	52
Zoning District	UR1-HIST

PROJECT DETAILS

Estimated Valuation	47000
Scope of Work	Remove existing detached garage which is not useable due to failing structure. Replace with new 720 square foot detached 2 car garage.

REVIEW TYPE

Application Type	Residential
Type of Work	Detached Garage

Contacts:

Contact Type	Name	Email
Applicant	Deborah Li	guangdeb@gmail.com
Owner	LI DEBORAH E & YANGGUANG	guangdeb@gmail.com

SITE PLAN STATISTICS

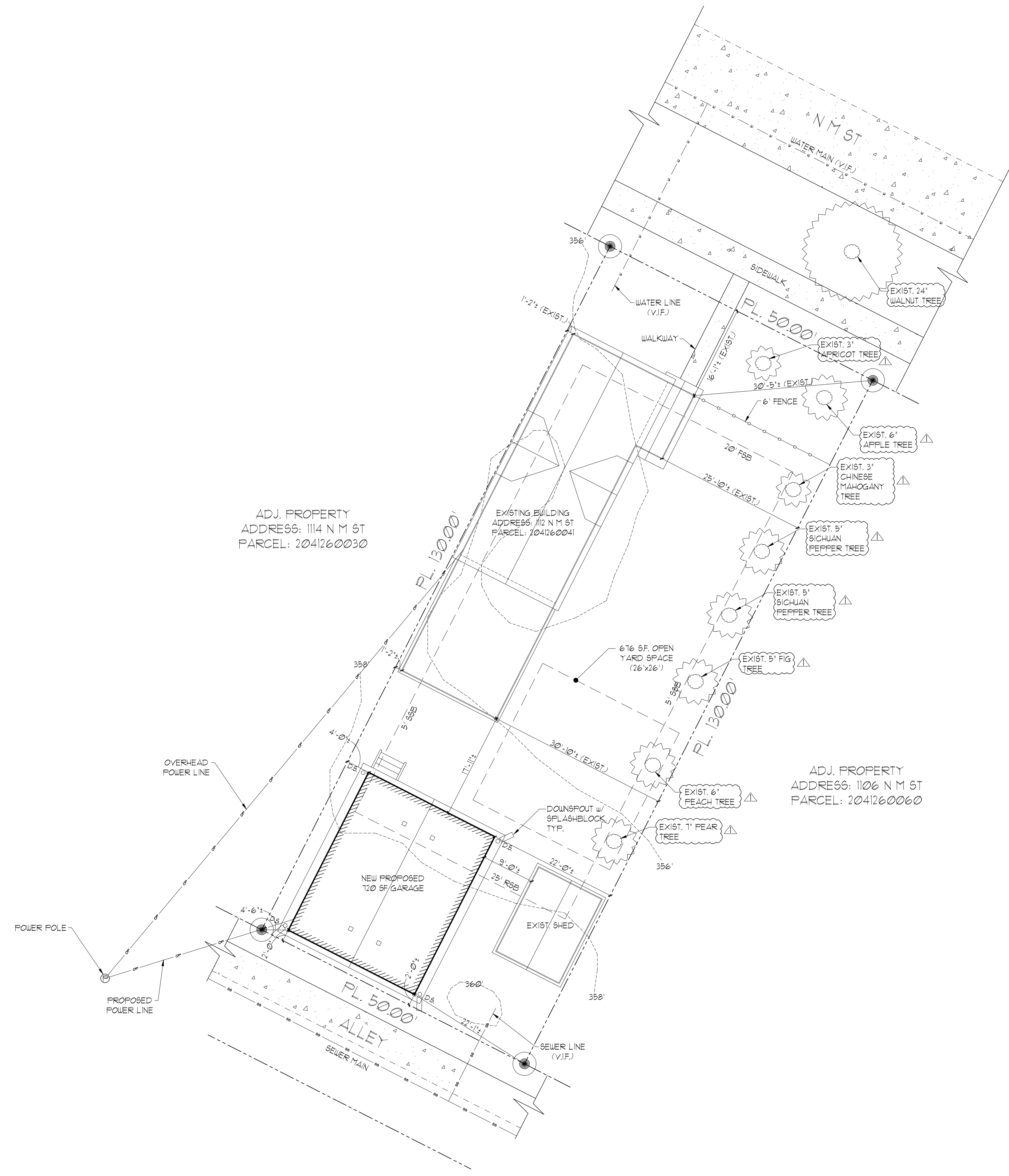
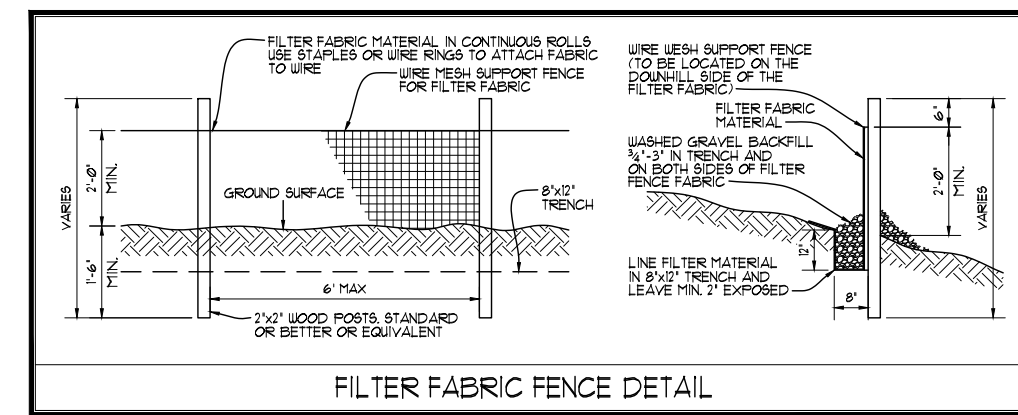
CITY OF TACOMA	
ADDRESS: 1112 N M ST, Tacoma, WA 98403	
PARCEL: 2041260041	
ZONING: HMR-5RD-HIST (North Slope Historic District)	
OWNER:	PREPARED BY:
LI DEBORAH E 4 YANGGUANG	HOME PLANS NORTHWEST
E: liyug11@gmail.com	ATTN: BOGDAN PETROVSKIY
P: (253) 241-3388	A: 5401 104TH ST E
	SUITE C, PUYALLUP WA 98373
	E: BOGDAN@NHOMES.CO
	P: (253) 251-2501
SETBACKS:	
FRONT: 20'	
REAR: 25'	
SIDES: 5'	
HEIGHT: 35'	
STORM NOTES:	
TIGHTLINE ROOF RUNOFF TO STORM STUB - OUT ROUTE DRIVEWAY RUNOFF TO ROAD STORM SYSTEM AMEND ALL DISTURBED SOILS PER SOIL AMENDMENT GUIDELINES	
TREE CANOPY CALCULATION:	
PROJECT AREA:	120 SF
CREDITS NEEDED FOR SITE:	216 CREDITS
RETAINED TREES:	2,515 CREDITS
LOT STATISTICS:	
LOT AREA:	6,500 SF (0.149 ACRES)
PROPOSED GARAGE AREA:	120 SF
EXIST. BUILDING AREA:	1212 SF
EXIST. SHED AREA:	192 SF
EXIST. PATHWAY AREA:	43 SF
TOTAL IMPERVIOUS:	2,161 SF (33%)

SITE PLAN LEGEND

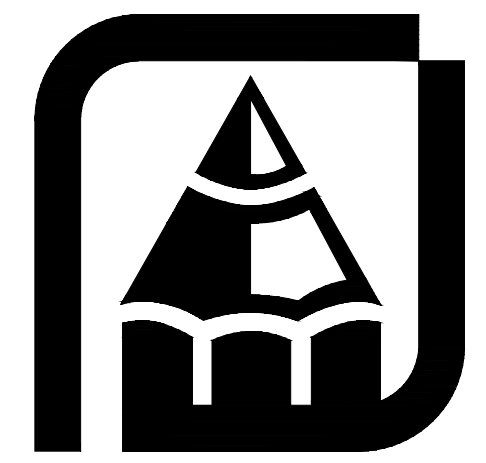
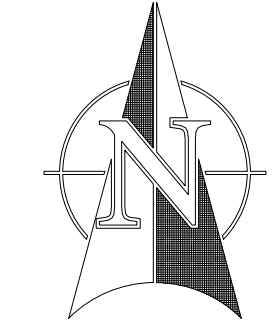
	PROPERTY CORNER
	PROPERTY LINE
	BUILDING SETBACKS
	SILT FENCE
	EASEMENT
	CLEARING LIMITS
	SANITARY SEWER
	TIGHT LINE
	WATER
	OVERHEAD POWER
	GAS
	FENCE
	NEW BUILDING
	EXISTING BUILDING
	DECK
	ASPHALT
	CONCRETE SLAB
	GRAVEL/ROCK
	SLOPE DIRECTION

TREE LEGEND

AP	APPLE		DECIDUOUS TREE
CY	CHERRY		CONIFEROUS TREE
D	DECIDUOUS		
M	MAPLE		



SITE PLAN



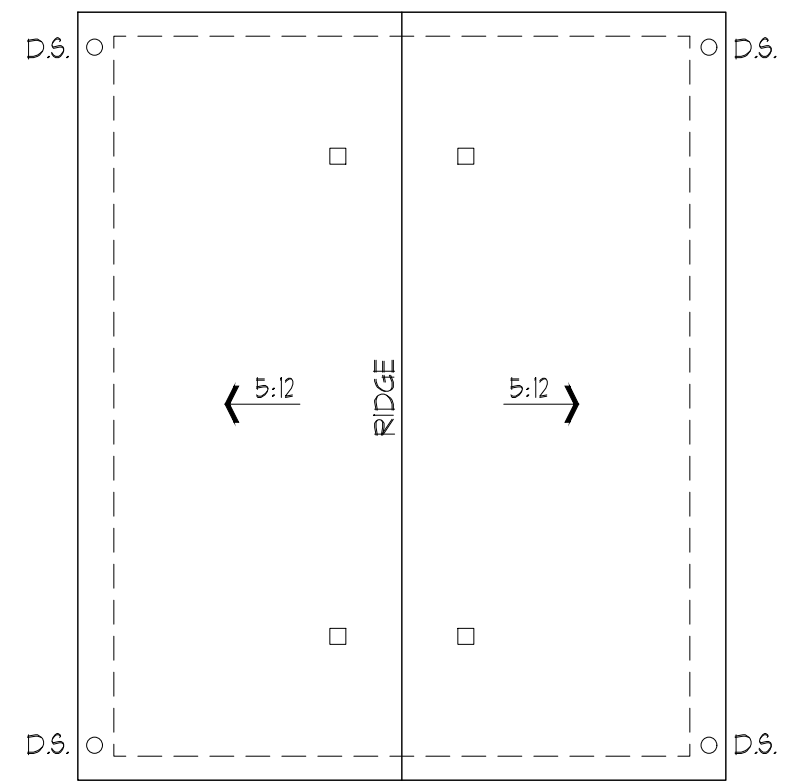
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Home Design

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Plan: G-720
Job#: Deborah Li
Date: 09/25/2024
Revision Date: 04/03/2025
Drawn by: BA
Phone: (253) 251-2501

[A-00]



ROOF PLAN

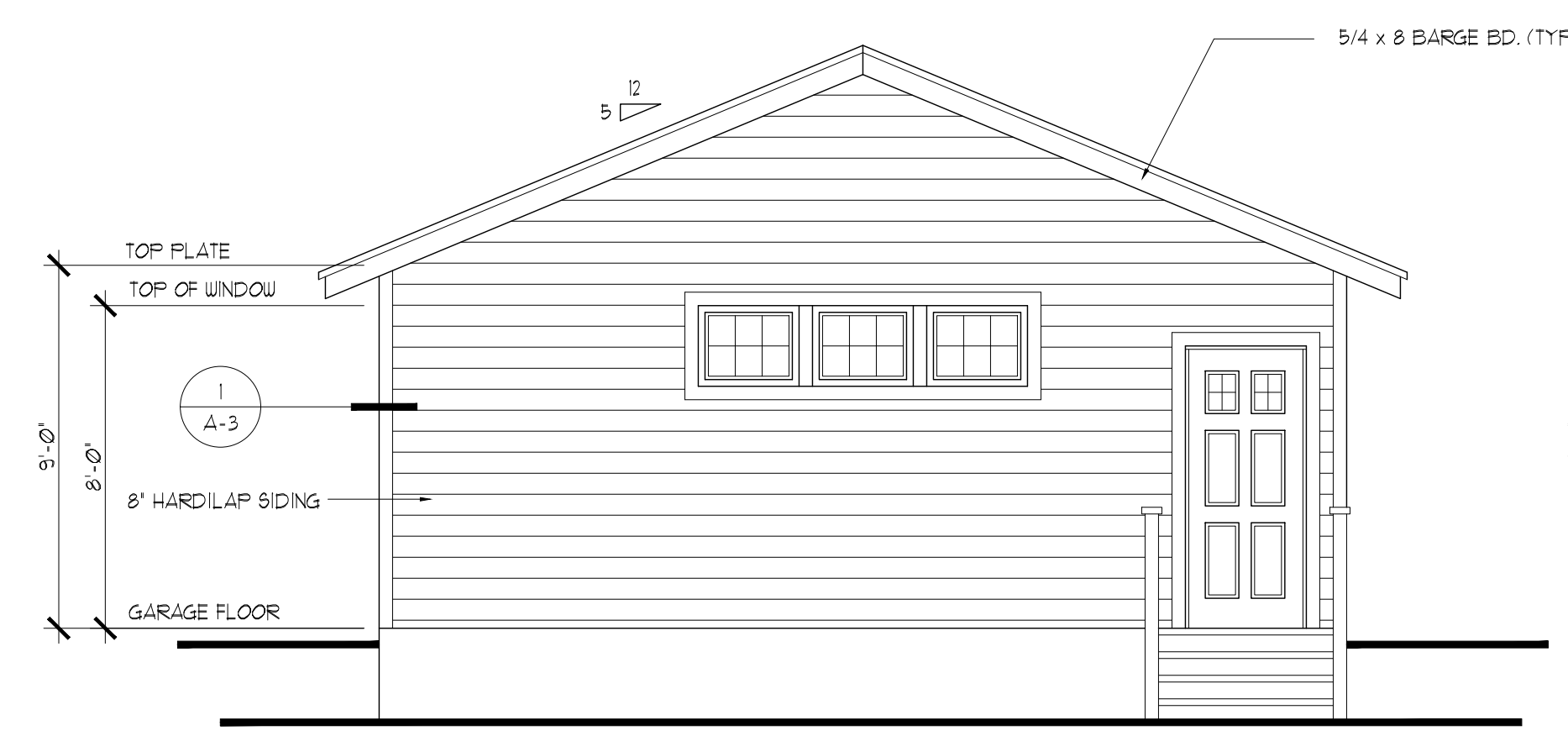
1/8" = 1'-0" D.S. = DOWNSPOUT
□ = ROOF VENT

WALL LESS THAN 5' TO A PROPERTY LINE MUST BE 1-HOUR PROJECTIONS GREATER THAN 2' FEET TO LESS THAN 5' FROM PROPERTY LINE MUST HAVE 1-HOUR FIRE-RESTRICTIVE CONSTRUCTION ON THE UNDERSIDE OR FIRE BLOCKED FROM WALL PLATE TO UNDERSIDE OF ROOF SHEATHING WITH NO VENT OPENINGS.

MAIN ROOF CALCULATIONS

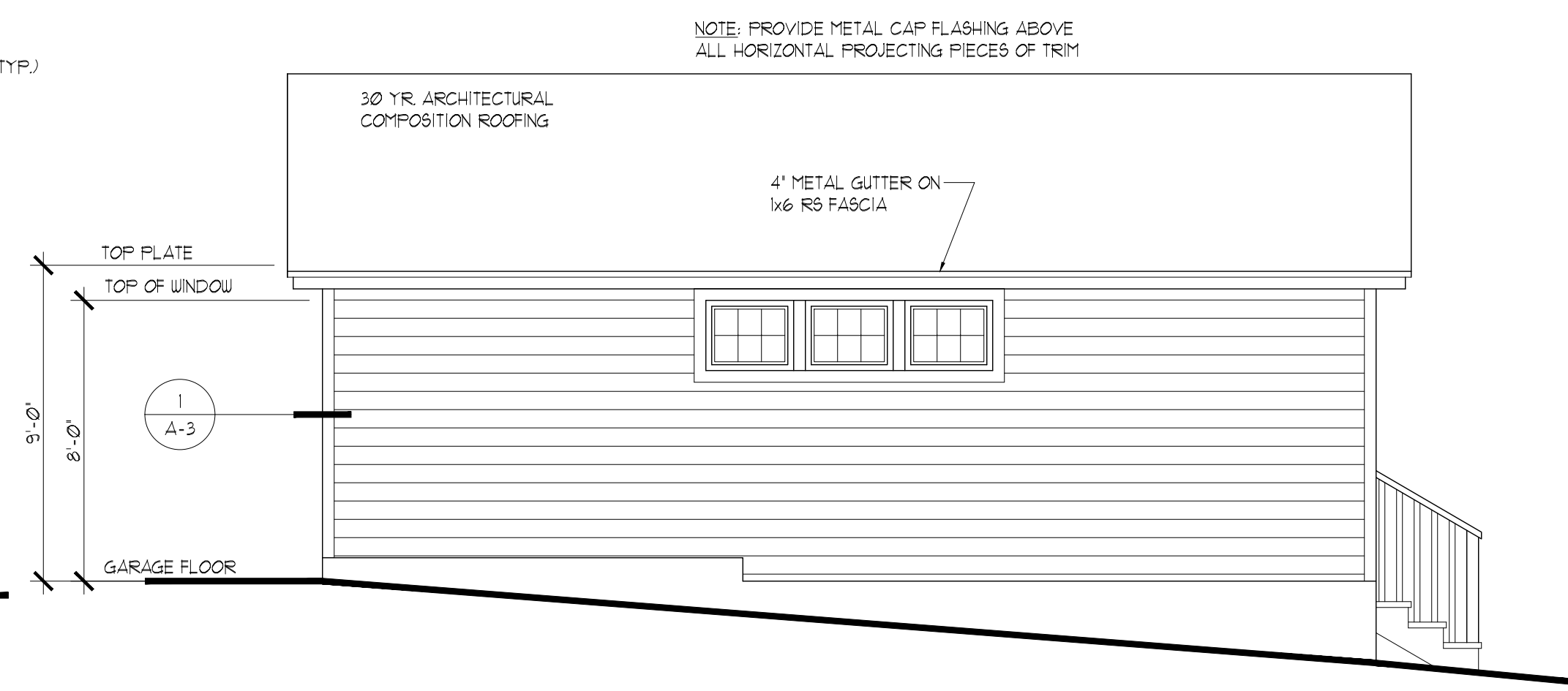
TOTAL SQ. FT. ATTIC AREA / 300 = 24 SQ. FT. OF VENTILATION REQUIRED (346 SQ. INCHES)
UPPER ROOF VENTING PROVIDED BY AP50 ROOF VENTS (50 SQ. IN. PER VENT) 346 SQ. IN. x 50% = 173 SQ. IN. REQUIRED. PROVIDE (4) AP50 ROOF VENTS = 200 SQ. IN.
LOWER ROOF VENTING PROVIDED BY BIRDBLOCKING: (4) 2' DIA. HOLES (3.14' EA.) = (12.56 SQ. INCHES) AND WITH AP50 ROOF VENTS (50 SQ. IN. PER VENT) 346 SQ. IN. x 50% = 173 SQ. IN. REQUIRED. PROVIDE (4) BIRDBLOCKS = 119 SQ. IN. @ FRONT & REAR OF HOUSE AND NOT WITHIN 2' OF THE SIDES.

NEW PLAN & ELEVATIONS



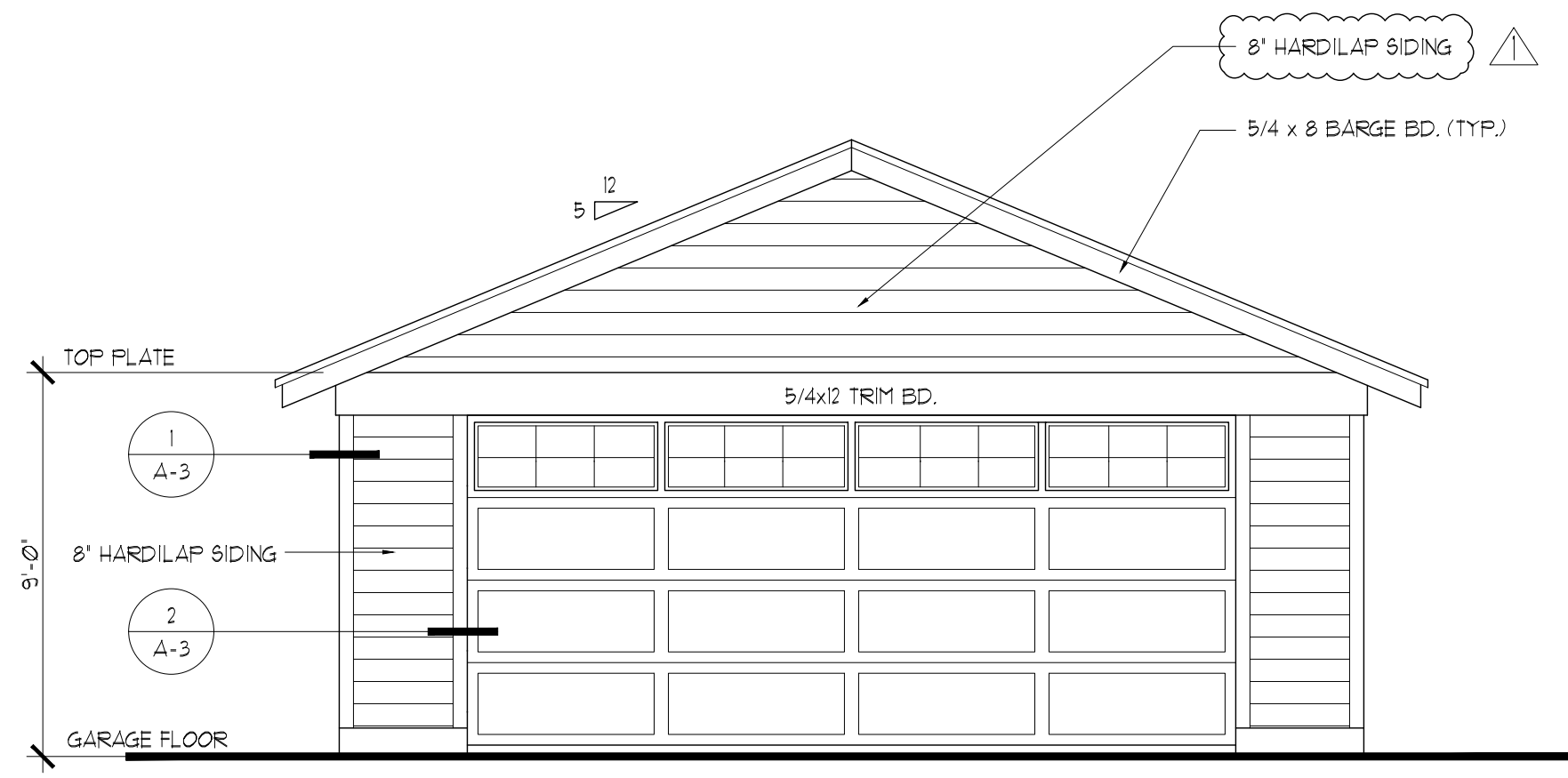
REAR (NE) ELEVATION

1/4" = 1'-0"



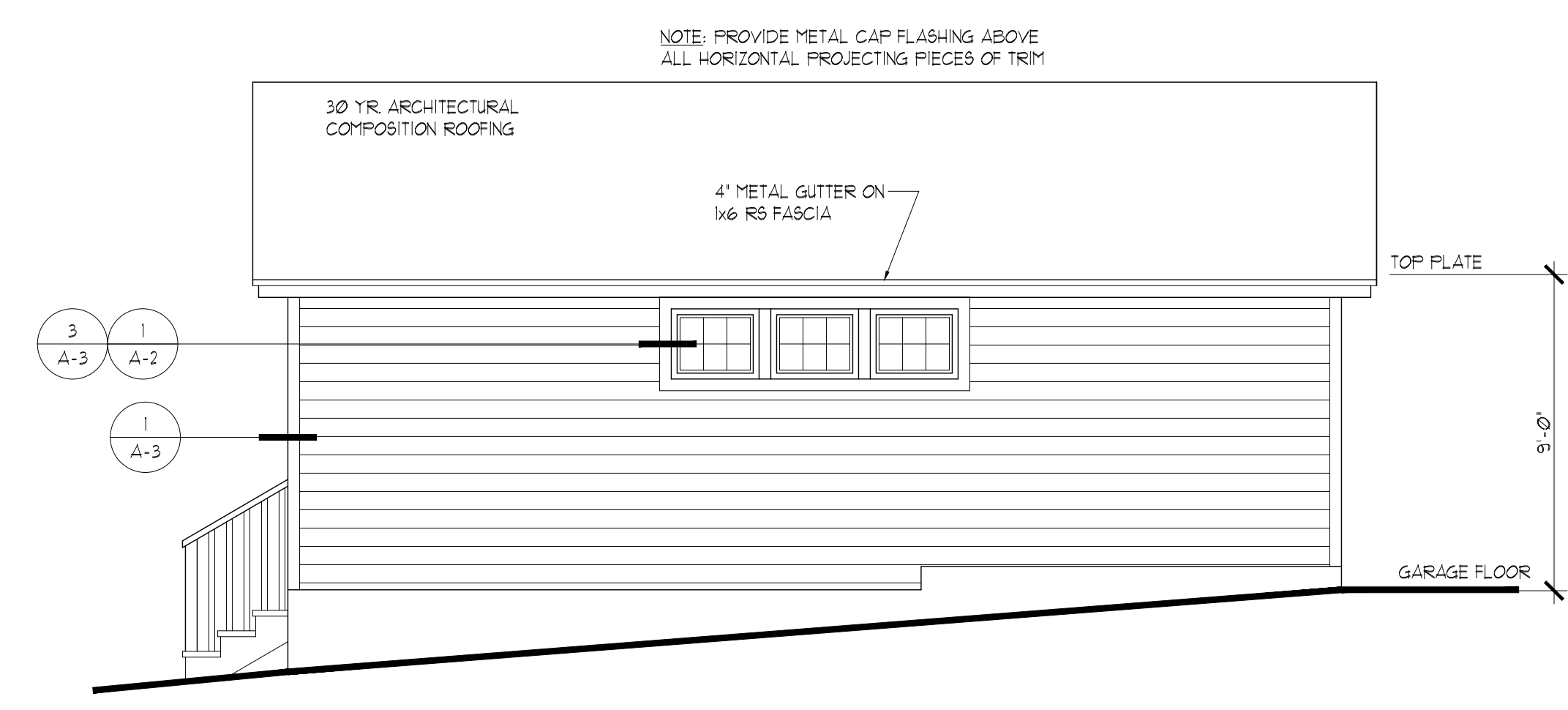
RIGHT (SE) ELEVATION

1/4" = 1'-0"



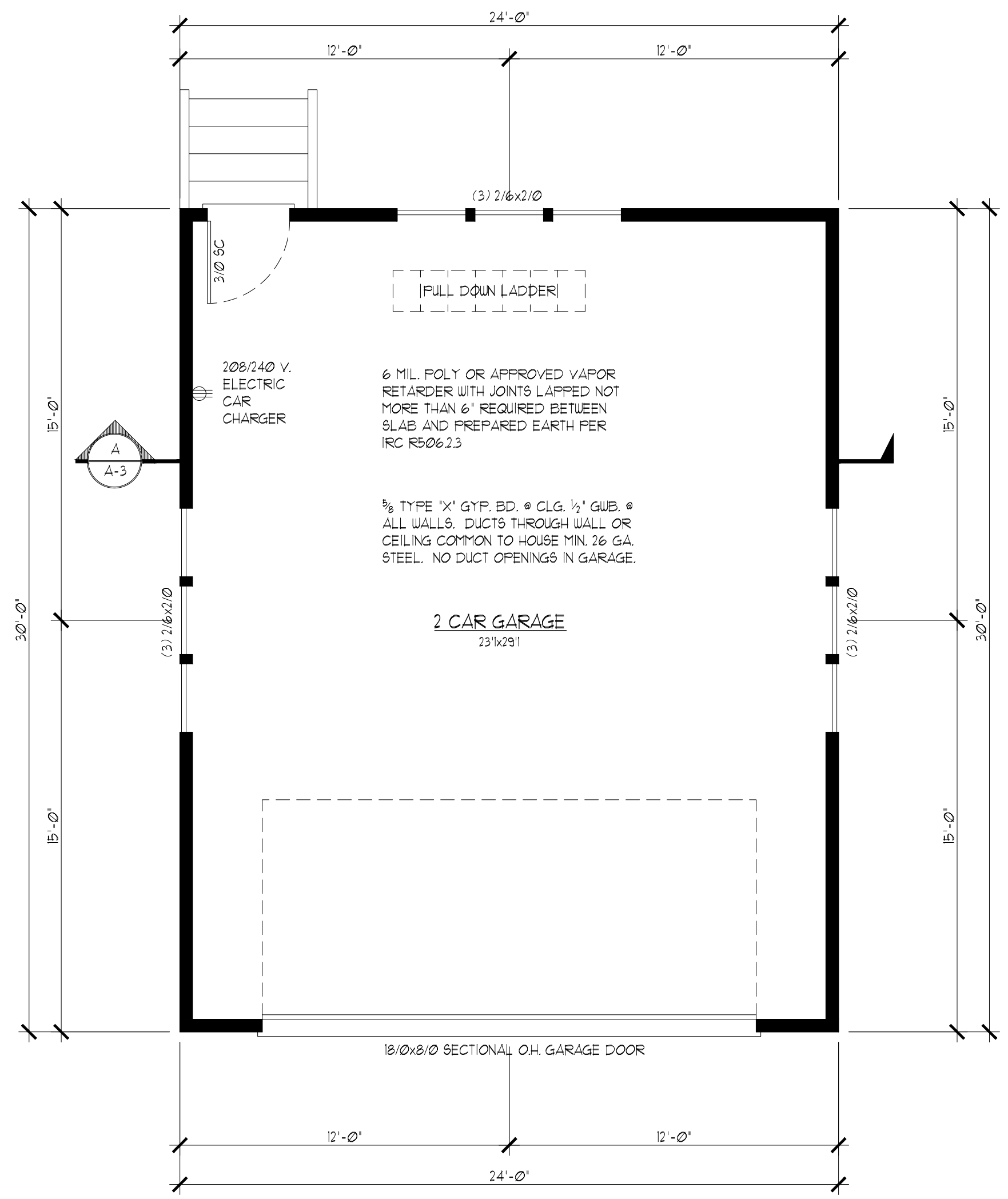
FRONT (SW) ELEVATION AT ALLEY

1/4" = 1'-0"



LEFT (NW) ELEVATION

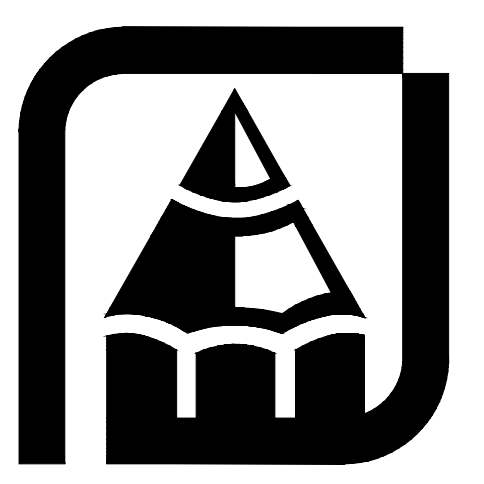
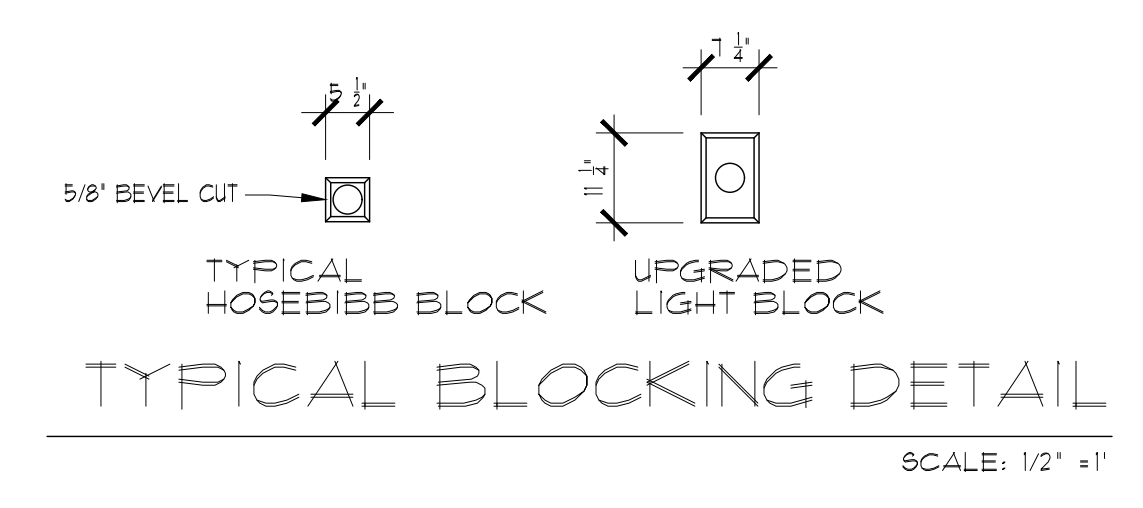
1/4" = 1'-0"



NEW GARAGE FLOOR PLAN

1/4" = 1'-0"

FLOOR PLAN CALCULATIONS	
GARAGE:	720 S.F.



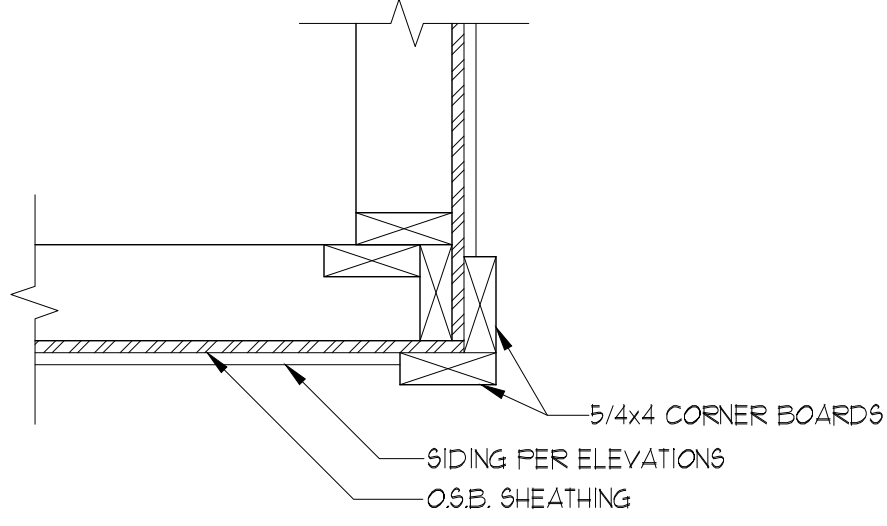
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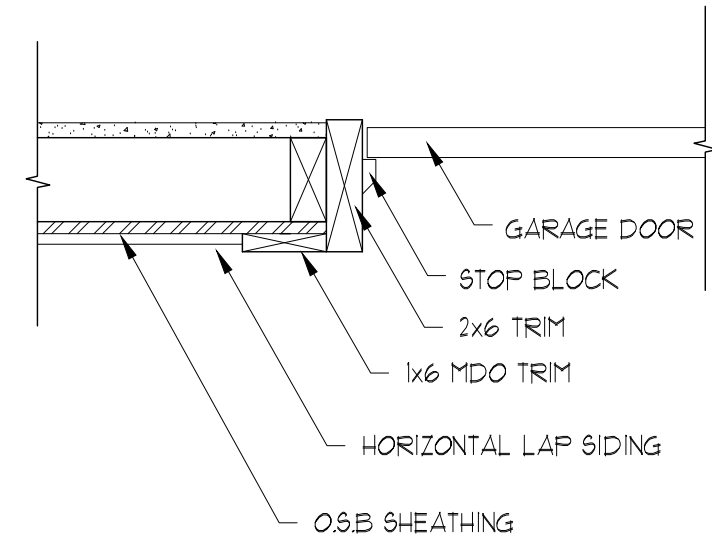
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Date: 10/29/24
Revision Date: 03/28/25
Drawn by: BP
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[A-2]



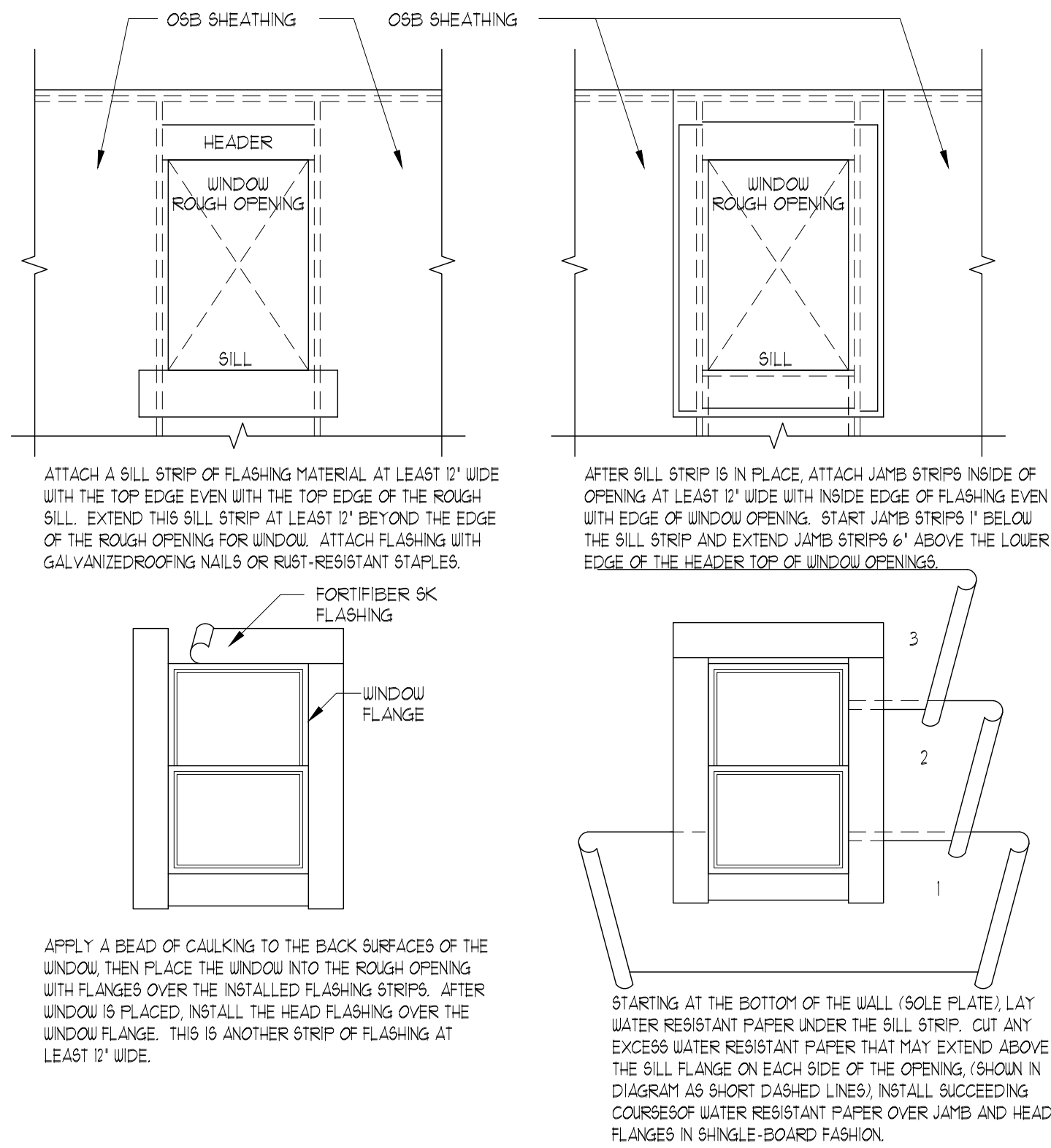
1 CORNER TRIM DETAIL

N.T.S.



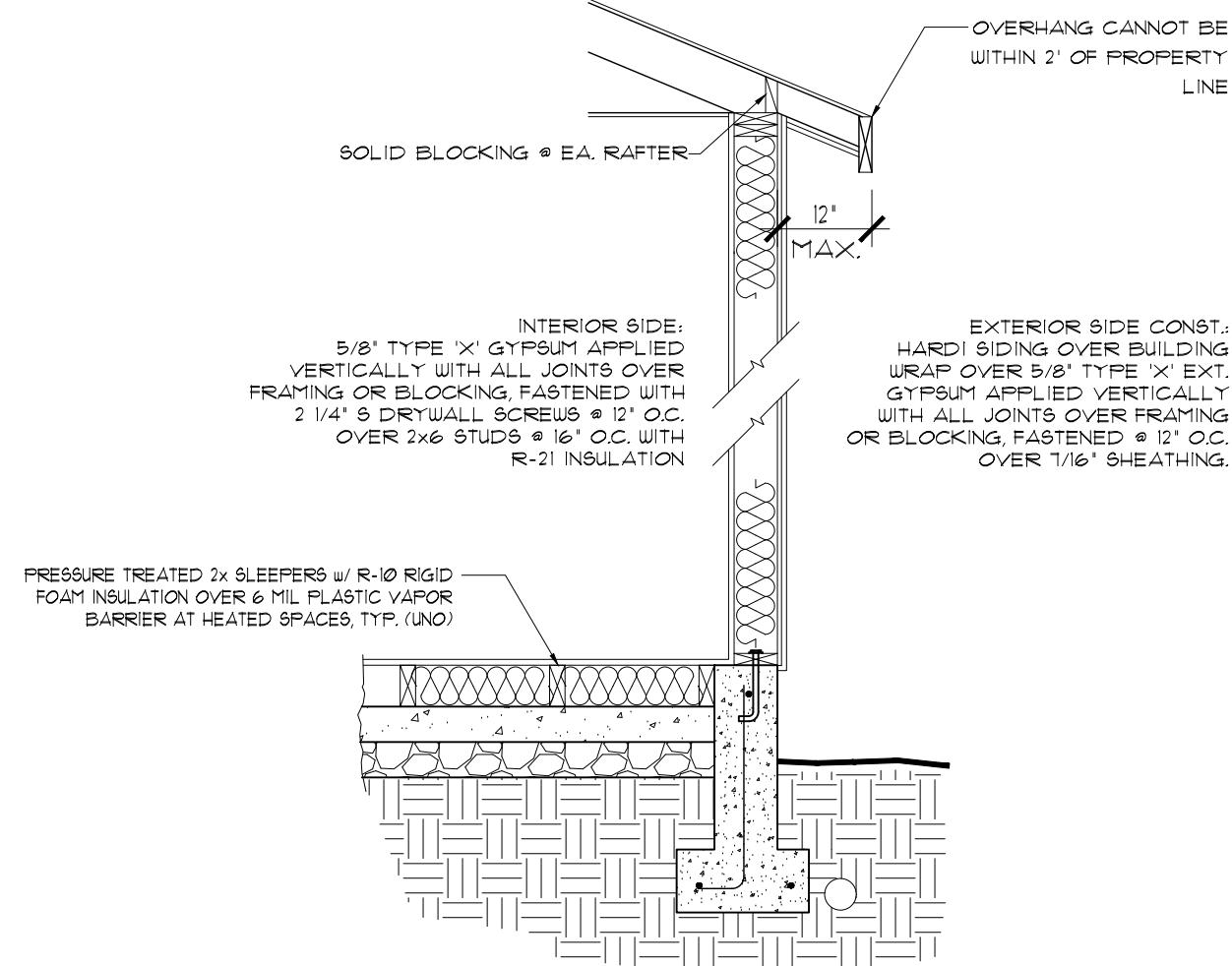
2 GARAGE DOOR TRIM DETAIL

N.T.S.



3 WINDOW FLASHING DETAIL

N.T.S.



4 1-HOUR WALL

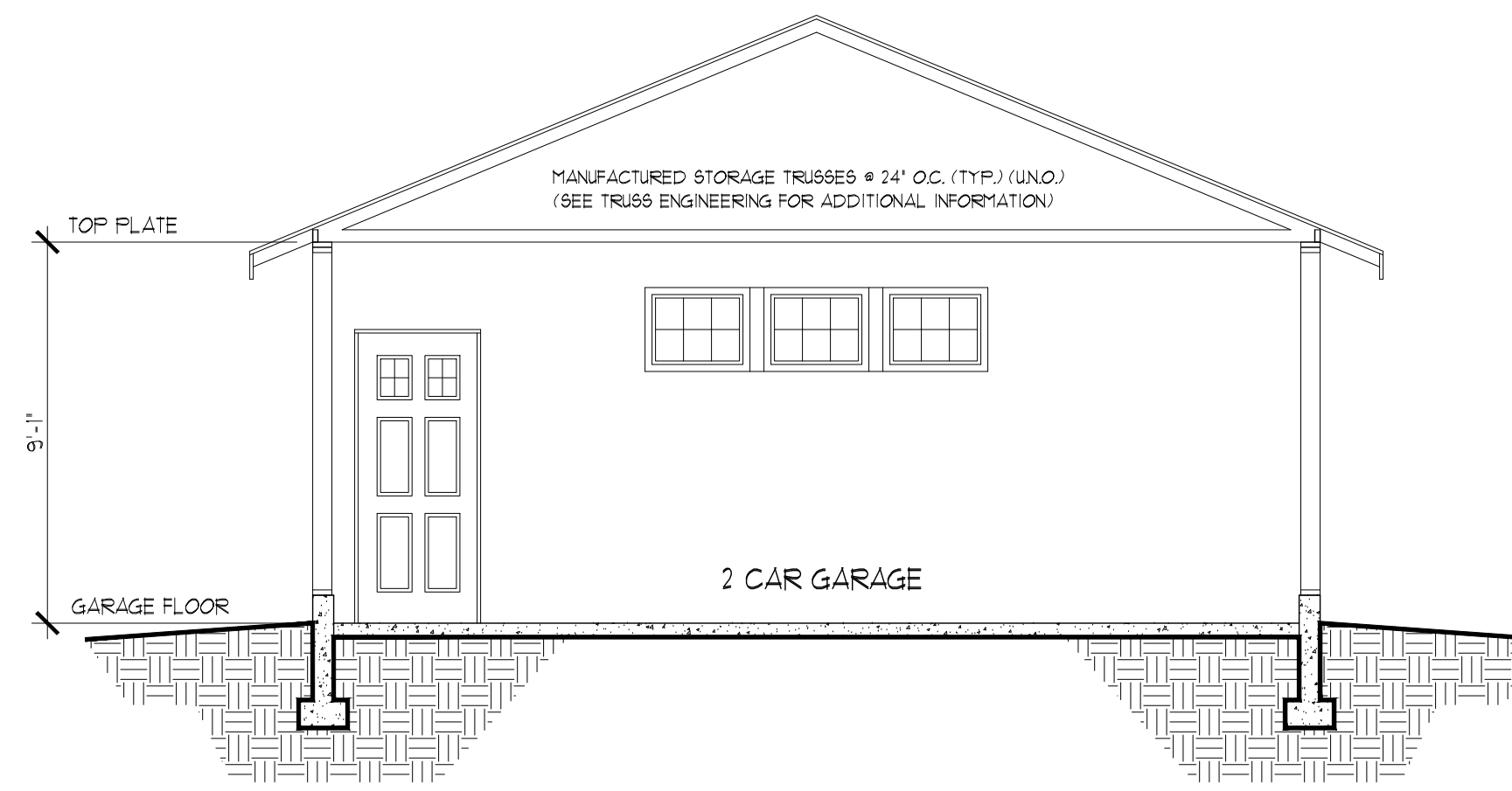
N.T.S. FOR STRUCT. LESS THAN 5' FROM PROP. LINE

GA FILE NO. WP 8105	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, WOOD STUDS EXTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board or gypsum sheathing applied parallel to T + 4 solid studs 24" o.c. with 15# gypsum sheathing applied parallel to T + 4 solid studs 24" o.c. in horizontal walls and top and bottom plates. Joints of gypsum sheathing to be staggered. Exterior or cladding to be attached through sheathing to studs. INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board or gypsum sheathing applied parallel to T + 4 solid studs 24" o.c. with 15# gypsum sheathing applied parallel to T + 4 solid studs 24" o.c. in horizontal walls and top and bottom plates. Joints of gypsum sheathing to be staggered through sheathing to studs. Notes: 1. See WP 300 for details. 2. Design depth: 1 1/2". 3. Design width: 48" x 9'-11 1/2". 4. Design height: 12'-0". 5. Design weight: 1.25 lb/ft ² . 6. Design use: 1.25 lb/ft ² .		

5 TYPICAL WALL SECTION

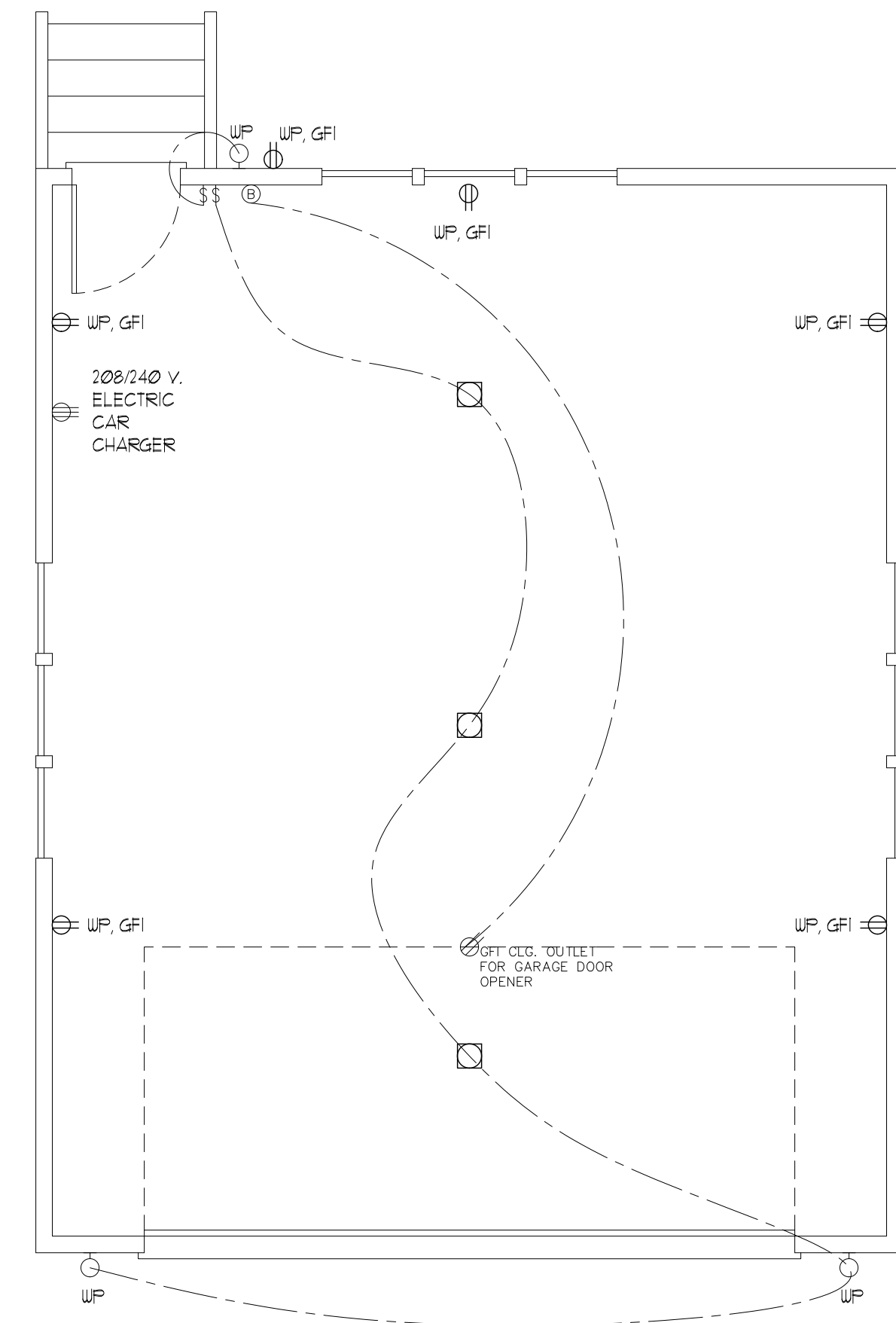
SCALE: N.T.S.

ROOF, WALL, FLOOR SHEATHING: TYPICAL WALL AND ROOF SHEATHING SHALL BE 7/16" MIN. UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 8d COMMON @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN FIELD. UNO. ON SHEARWALLS SCHEDULE. SPAN INDEX SHALL BE 74/0 FOR WALLS AND 24/16 FOR ROOF. FLOOR SHEATHING SHALL BE 3/4" T&G SHEATHING, UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 8d COMMON AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN FIELD. SPAN INDEX SHALL BE 40/20 UNLESS NOTED OTHERWISE. STAGGER END LAPS AT ROOF AND FLOOR SHEATHING.



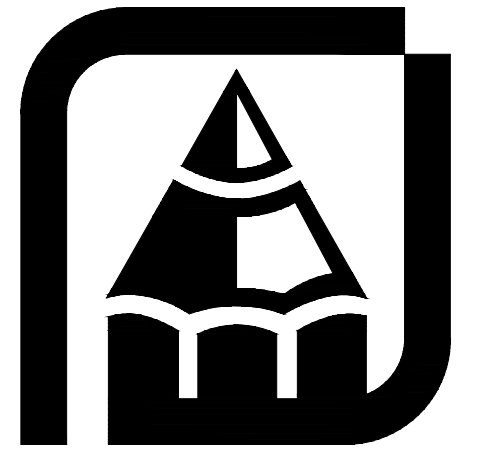
SECTION-A

1/4" = 1'-0"



NEW GARAGE ELECTRICAL PLAN

1/4" = 1'-0"



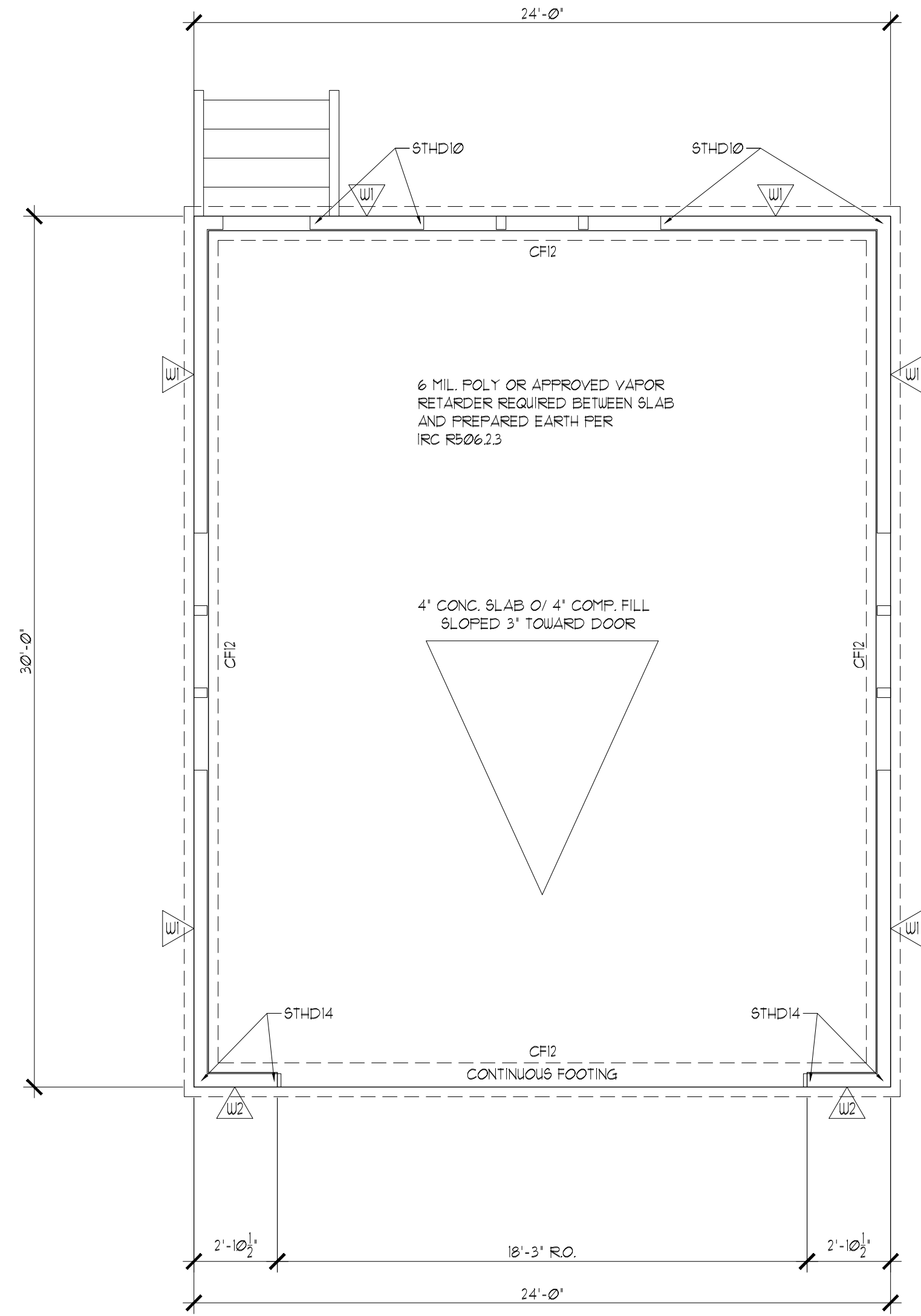
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Job#: Li, Deborah
Date: 10/29/24
Revision Date: 03/28/25
Drawn by: BP
Phone: (253) 250-2501

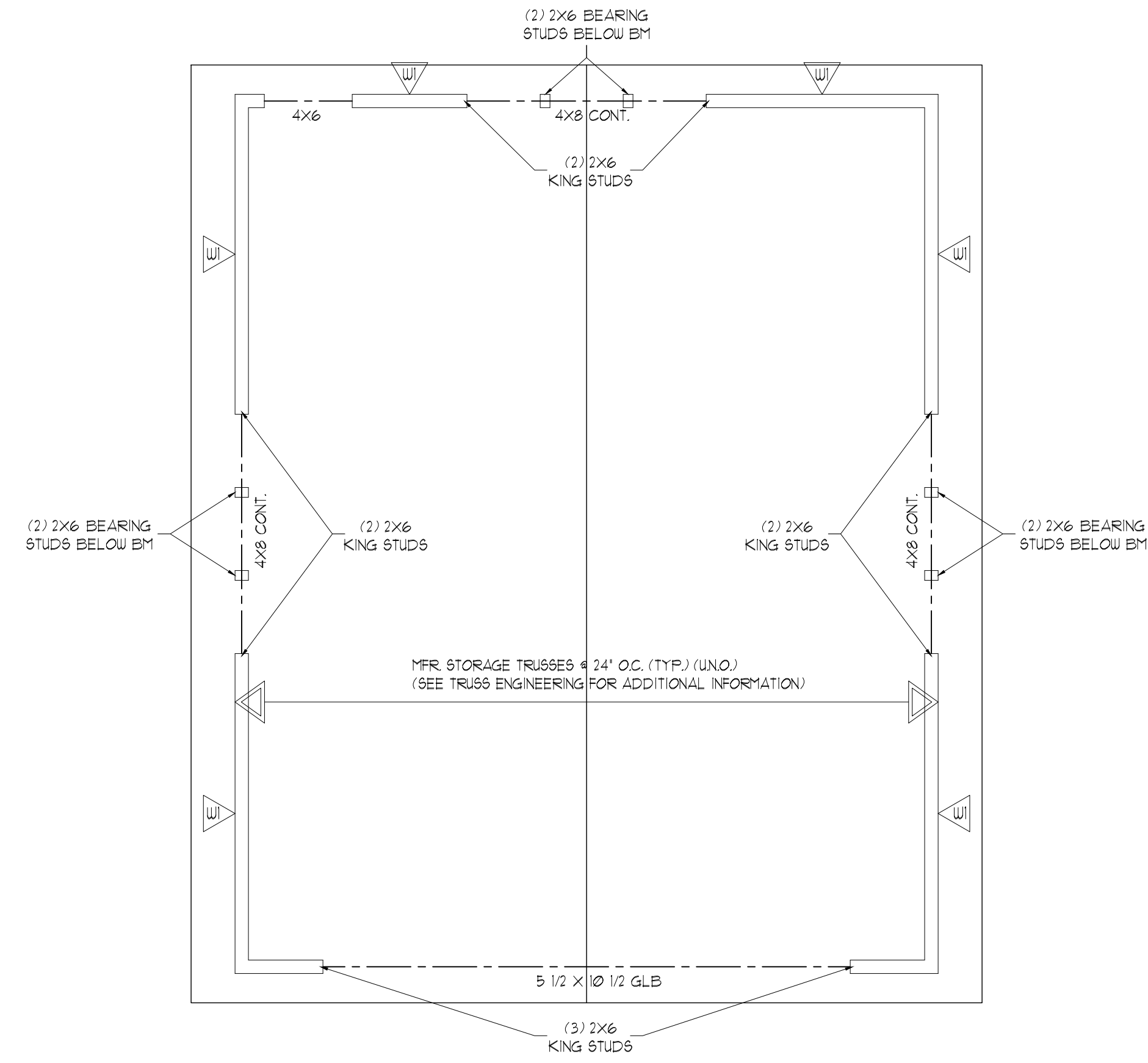
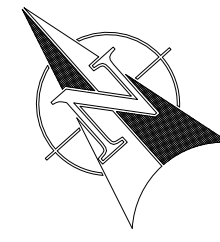
[A-3]



1/4" = 1' - 0"

FOUNDATION PLAN

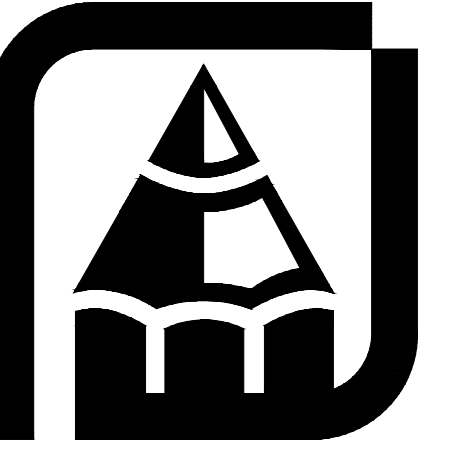
ALL CONNECTIONS TO SPECIFIED AND/OR VERIFIED BY JOIST MANUFACTURER
 NOTE: ALL SOLID SAUN BEAMS TO BE DP3 OR BETTER
 NO HVAC DUCTWORK SHALL BE INSTALLED IN CRAWL SPACE



ROOF FRAMING PLAN

1/4" = 1' - 0"

NOTE: ALL OVERFRAMED RAFTERS TO BE 2x6-24' O.C. FOR SPANS UP TO 8'-0", 2x8-24' O.C. FOR SPANS UP TO 11'-0", 2x10-24' O.C. FOR SPANS UP TO 14'-0".
 ALL CONNECTIONS TO SPECIFIED AND/OR VERIFIED BY TRUSS MANUFACTURER.
 NOTE: ALL SOLID SAUN BEAMS TO BE DP3 OR BETTER
 NOTE: ENGINEERING FOR SUPPORT OF ROOF FRAMING IS BASED ON THE PROVIDED ROOF TRUSS LAYOUT. VERIFY CONSISTENCY WITH TRUSS MANUFACTURER'S ENGINEERING/ LAYOUT WHEN AVAILABLE.



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Home Design

Plan: G-720

Job#: Li, Deborah

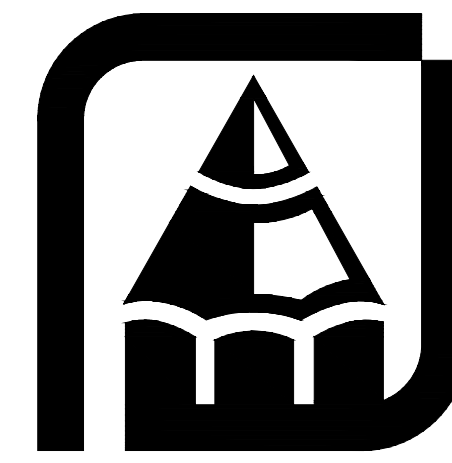
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[S-1]



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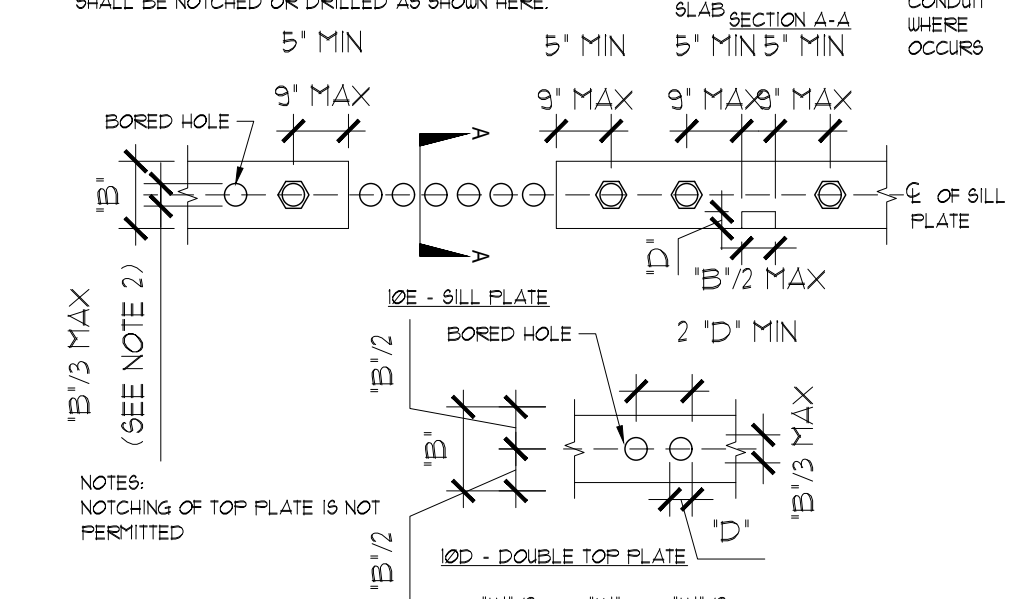
Home Design

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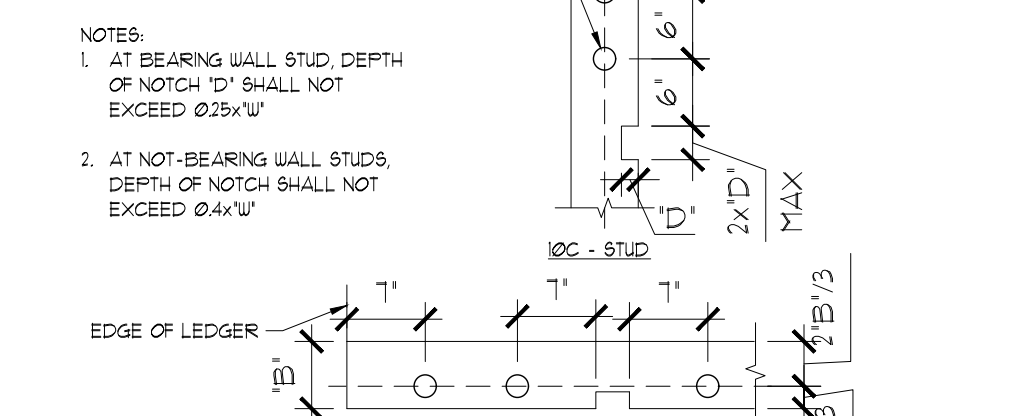
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[S-2]

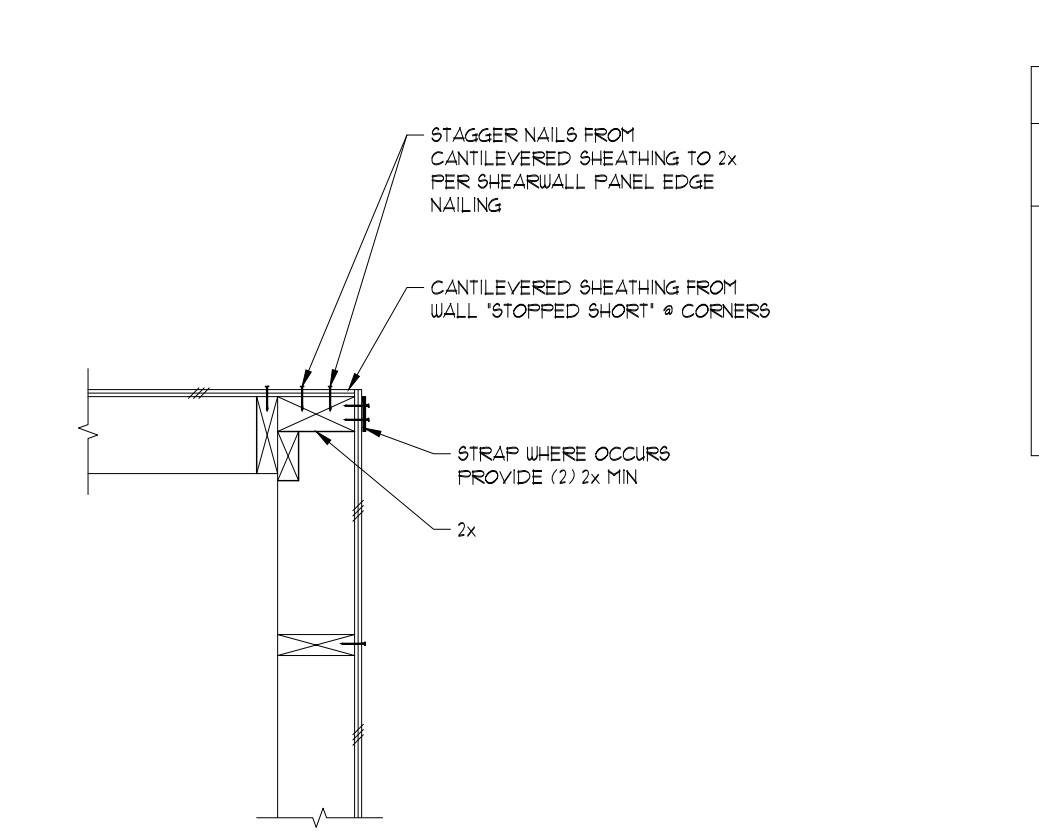
NOTES:
 1. WHERE DEPTH OF NOTCH 'D' IS GREATER THAN 'B'/5, PROVIDE ANCHOR BOLT EACH SIDE OF NOTCH AS SHOWN.
 2. BORED HOLES LESS THAN 'B'/3 OR (2) ADJACENT 3/4" Ø CONDUIT DO NOT REQUIRE ADDITIONAL ANCHOR BOLTS.
 3. AT SHEAR WALLS NO MORE THAN 5% MAX LENGTH OF WALL SHALL BE NOTCHED OR DRILLED AS SHOWN HERE.



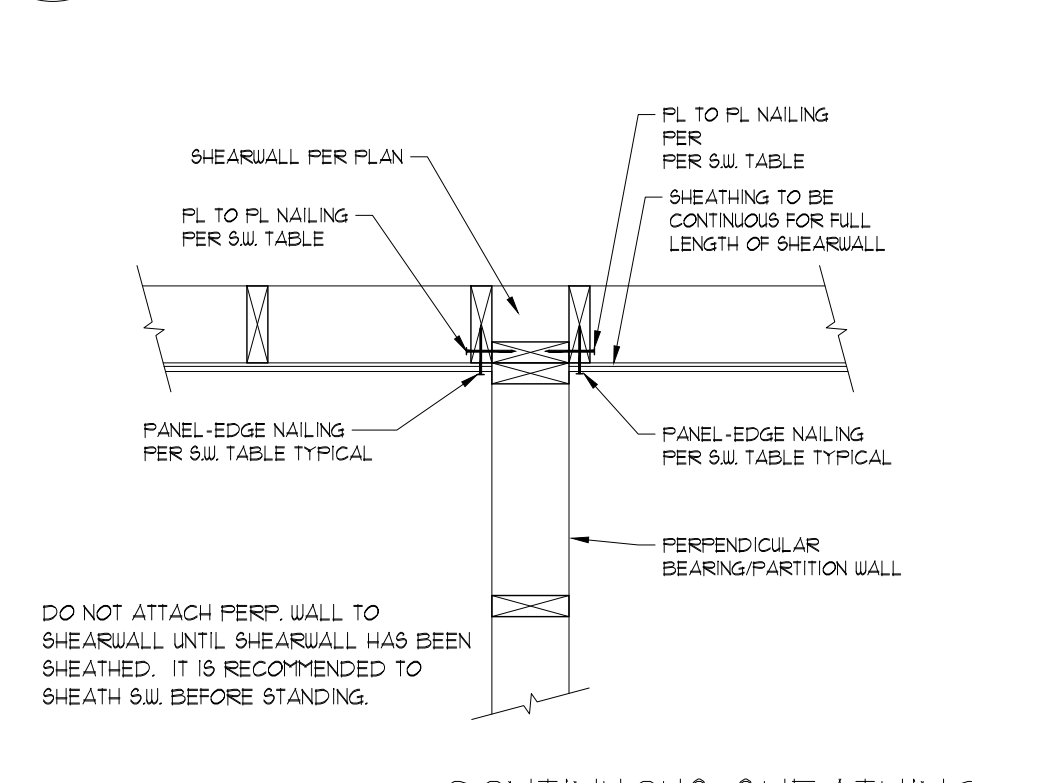
12 TYP. WOOD LUMBER FRAMING HOLES AND NOTCHING N.T.S.



10A - JOIST AND RAFTERS



9 CORNER FRAMING N.T.S.

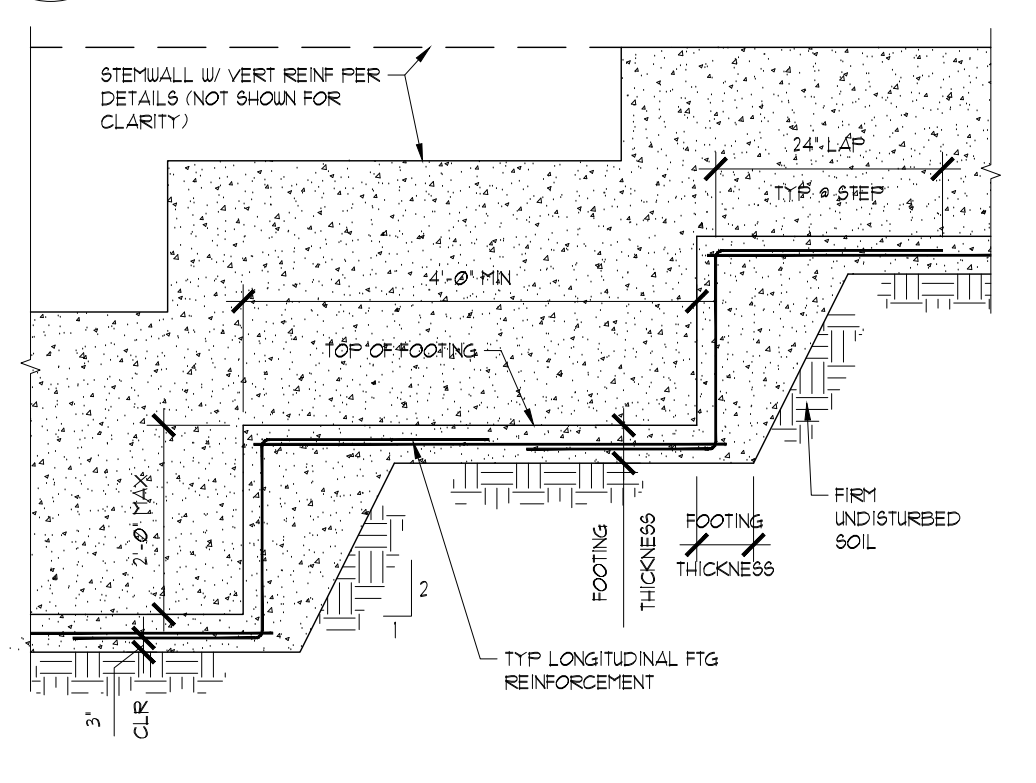


8 CONTINUOUS SHEATHING @ SHEARWALL N.T.S.

MARK	BOUNDARY ELEMENT	ANCHOR DIAMETER	EMBEDDED ANCHOR PLATE SIZE	CIP ANCHOR EMBEDMENT	EPOXY ANCHOR EMBED (ALTERNATE)
M8T31	4x	N/A	N/A	N/A	N/A
M8T48	4x	N/A	N/A	N/A	N/A
M8T62	4x	N/A	N/A	N/A	N/A
L8THD8(RU)	(2)2x	N/A	N/A	8"	N/A
8THD10(RU)	(2)2x	N/A	N/A	10"	N/A
8THD14(RU)	(2)2x	N/A	N/A	14"	N/A
HDU2	4x	5/8"	3"x3"x1/4"	18"	12"
HDU4	4x	5/8"	3"x3"x1/4"	18"	18"
HDU5	4x	5/8"	3"x3"x1/4"	18"	18"
HDU6	6x	1 1/8"	3-1/2"x3-1/2"x3/8"	18"	N/A
HDU11	6x	1 1/8"	4-1/2"x4-1/2"x1/2"	24"	N/A
HDU14	6x	1 1/8"	5"x5"x1/2"	24"	N/A

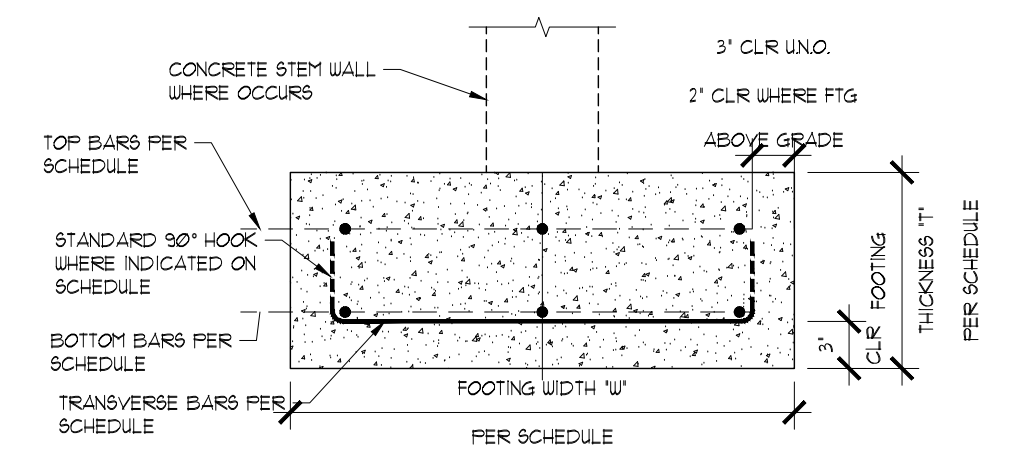
NOTES:
 1. STRAP HOLDOWNS MAY BE APPLIED DIRECTLY TO BOUNDARY MEMBER ON OPPOSITE SIDE OF SHEATHING OR APPLIED DIRECTLY OVER RUD/OSB SHEATHING. DO NOT INSTALL STRAPS UNDER WOOD SHEATHING OF ANY TYPE OR OVER GYPSUM SHEATHING.
 2. NAIL SHEATHING PER SHEARWALL TABLE TO EACH BOUNDARY ELEMENT PER TABLE ABOVE. STRAP NAILING REPLACES SHEARWALL NAILING FOR THE LENGTH OF THE STRAP.
 3. ALIGN FLOOR TO FLOOR STRIPS WITH HOLDOWNS AT FOUNDATION TYPE.
 4. HOLDOWNS/STRAPS MUST BE ATTACHED TO FULL HEIGHT STUDS UNLESS NOTED OTHERWISE. BOUNDARY ELEMENTS ARE IN ADDITION TO TRIMMER-BEARING STUDS CALLED OUT ON PLAN.
 5. ANCHOR BOLTS MAY BE CAST IN PLACE FOR CAST IN PLACE APPLICATIONS USE A STANDARD WASHER WITH A STANDARD NUT ON EACH SIDE AT BOTTOM OF ANCHOR. EMBEDMENTS PER TABLE ABOVE ARE REFERENCED FROM THE EMBEDDED WASHER LOCATION.
 6. THREADED RODS/ANCHORS ARE ASTM A307.
 7. STRAP/HOLDOWNS SHALL BE INSTALLED WITH THE FASTENERS SPECIFIED BY THE MANUFACTURER TO ACHIEVE THE MAXIMUM TABULATED LOAD.

6 HOLDOWN TABLE & NOTES N.T.S.

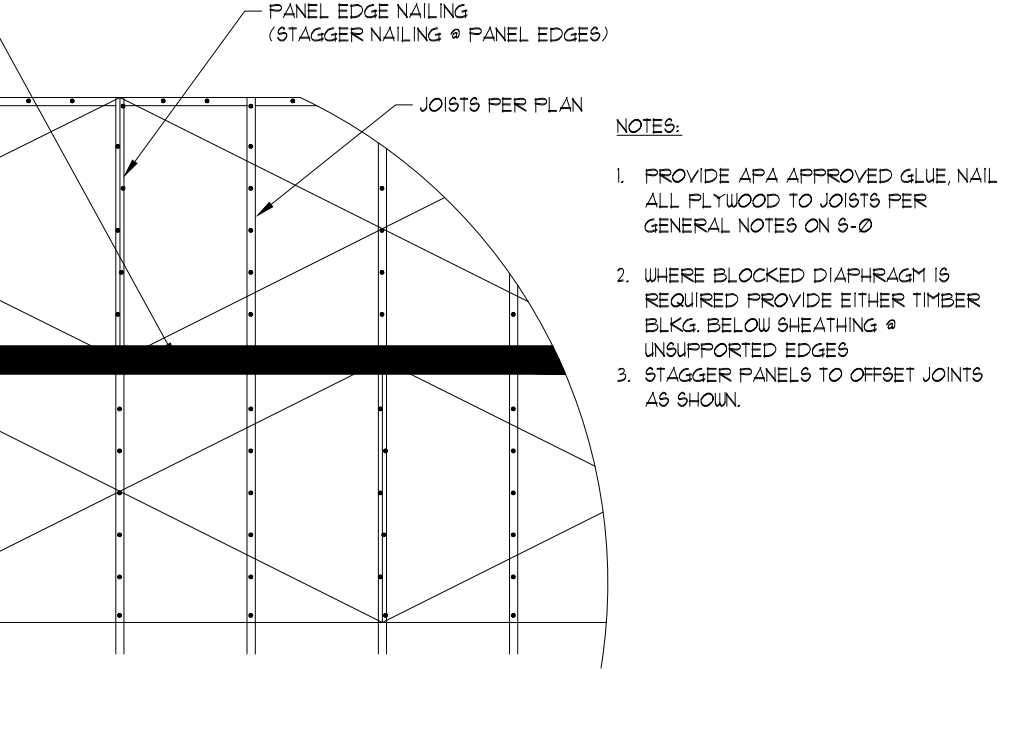


5 REINFORCED STEPPED FOUNDATION N.T.S.

MARK	W	T	BOTTOM BARS	TOP BARS	TRANSVERSE BARS
CF2	12 in	8 in	(2) #4 CONT.	N/A	N/A
CF6	16 in	8 in	(2) #4 CONT.	N/A	N/A
CF8	18 in	8 in	(2) #4 CONT.	N/A	N/A
CF21	21 in	8 in	(2) #4 CONT.	N/A	N/A
CF24	24 in	12 in	(3) #4 CONT.	N/A	N/A
CF30	30 in	12 in	(3) #4 CONT.	N/A	N/A



4 CONTINUOUS FOOTING SCHEDULE N.T.S.

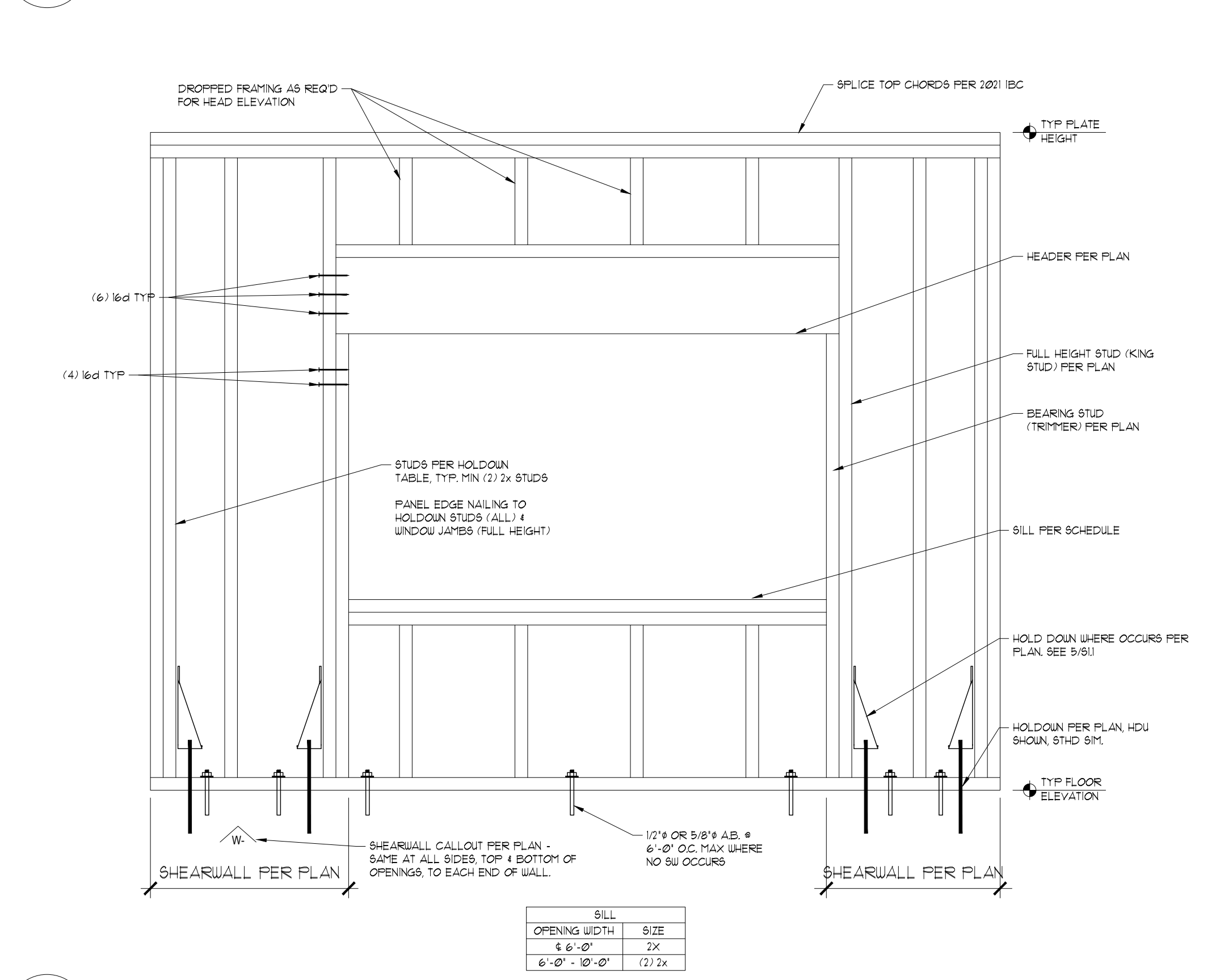


3 TYPICAL HORIZONTAL PLYWOOD DIAPHRAGM LAYOUT N.T.S.

MARK	COMPONENTS	1 1/2" AS. PL. TO CONCRETE SPACING (N)	5/8" AS. PL. TO CONCRETE SPACING (N)	100 COMMON PL. TO PL SPACING (N)	100 COMMON PL. TO PL SPACING (N)	100 COMMON PL. TO PL SPACING (N)	100 COMMON PL. TO PL SPACING (N)	100 COMMON PL. TO PL SPACING (N)
U1	1/8" RUD OR OSB, BLOCKED, W/ 8d NAILS @ 6" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD.	41" O.C.	68" O.C.	81" O.C.	28" O.C.	31" O.C.		
U2	1/8" RUD OR OSB, BLOCKED, W/ 8d NAILS @ 4" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD.	32" O.C.	41" O.C.	55" O.C.	19" O.C.	21" O.C.		
U3	1/8" RUD OR OSB, BLOCKED, W/ 8d NAILS @ 3" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2 AND 3.	28" O.C.	36" O.C.	43" O.C.	15" O.C.	16" O.C.		
U4	1/8" RUD OR OSB, BLOCKED, W/ 8d NAILS @ 2" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2 AND 3.	19" O.C.	28" O.C.	(2) ROWS 6.6" O.C. EA ROW	11" O.C.	12" O.C.		
U5	1/8" RUD OR OSB, (2) LAYERS (ONE EACH SIDE) BLOCKED, W/ 8d NAILS @ 4" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2 AND 3.	32" O.C.	41" O.C.	(2) ROWS 11" O.C. EA ROW	9" O.C.	21" O.C.		
U6	1/8" RUD OR OSB, (2) LAYERS (ONE EACH SIDE) BLOCKED, W/ 8d NAILS @ 3" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2, 3 AND 5.	12" O.C.	18" O.C.	(2) ROWS 4.3" O.C. EA ROW	7" O.C.	8" O.C.		
U7	1/8" RUD OR OSB, (2) LAYERS (ONE EACH SIDE) BLOCKED, W/ 8d NAILS @ 2" O.C. @ PANEL EDGES AND @ 12" O.C. @ FIELD. SEE NOTES 2, 3 AND 5.	10" O.C.	14" O.C.	(2) ROWS 3.3" O.C. EA ROW	6" O.C.	6" O.C.		

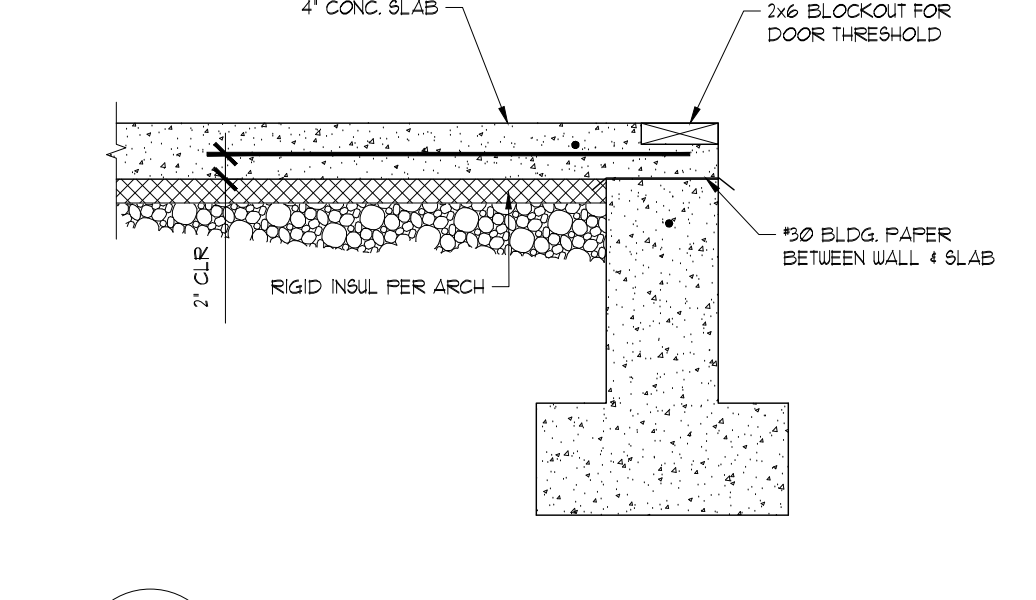
NOTES:
 1. ALL NAILING PER ANSI/AWS D9.9 & SDPUS - 2015 TABLE 4.3A
 2. WHERE INDICATED ABOVE USE 3x1/2" STUDS AT ALL ABUTTING PANEL EDGES. NAILS SHALL BE STAGGERED WHERE PANELS ARE SPACED AT 2" O.C.
 3. WHERE INDICATED ABOVE SEE NOTE 2, SEE NOTES 13 & 14 FOR (2)2x OPTION.
 4. IF CALLOUT REQUIRES BLOCKING SHEATHING MAY BE PLACED WITH THE LONGITUDINAL DIRECTION VERTICAL. STUDS AND PLATES WILL BE CONSIDERED TO ACT AS BLOCKING.
 5. WALL SHEATHING CALLED OUT SHALL EXTEND FOR ENTIRE WALL LENGTH AT THAT ELEVATION AND SHALL BE CONTINUOUS AROUND OPENINGS TYPICALLY.
 6. 8d NAILS ARE TO BE 13/16" AND 2-1/2" IN LENGTH. 10d NAILS ARE TO BE 16/16" AND A MINIMUM OF 3" IN LENGTH. 16d NAILS ARE TO BE 16/16" AND 3-1/4" IN LENGTH. NAILS SHALL BE INSTALLED 30 AS TO NOT SPLIT THE TIMBER FRAMING.
 7. SIMPSON A35 OR LTR4 CLIP ANGLES SHALL BE INSTALLED WITH THE APPROPRIATE FASTENERS PER THE MANUFACTURER'S SPECIFICATIONS.
 8. USE 3"x3"x0.275" PLATE WASHERS AT 2x4 WALL AND 3"x4-1/2"x0.275" AT 2x6 WALLS AT ALL ANCHOR BOLTS PER ANSI/AWS D9.9 & SDPUS - 2015 SECTION 4.3.6.4.3. NOTE: FOR U5-U6 UPLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF BOTTOM PLATE ON SIDES WITH SHEATHING.
 9. SPACING SHOWN ABOVE FOR ANCHOR BOLTS, NAILING AND CLIPS IS MAXIMUM AMOUNT ALLOWED.
 10. FRAMING AT SHEARWALLS SHALL BE SPACED NO FARTHER THAN 16" O.C.
 11. MINIMUM NAIL SPACING IN A SINGLE ROW SHALL BE 4 INCHES ON CENTER. USE (2) ROWS IF SPACING LESS THAN THIS. USE 2ND RIM BOARD, RIM JOIST OR BLOCKING WHERE THREE ROWS OF NAILING CALLED OUT.
 12. SHEATHING UP TO DOUBLE TOP PLATES AND INSTALL NAILS THROUGH SHEATHING INTO UPPER TOP PLATE PER TYPICAL DETAILS. NO PLATE TO PLATE NAILING REQUIRED IN DOUBLE TOP PLATES WITH THIS CONFIGURATION.
 13. OPTIONAL TO USE (2) 2x4 IN PLACE OF SINGLE 3x4 IN SHEARWALLS U5, U4, U5 AND U6 W/ STITCH NAILING.
 14. (2) ROWS OF 6x48" x 3" STITCH NAILING (2.2x) STUDS TOGETHER @ 10" O.C. FOR U3 SHU, 8" O.C. FOR U4 SHU, 6" O.C. FOR U5 SHU & 4" O.C. FOR U6 SHU.
 15. WHERE PANELS ARE APPLIED ON BOTH SIDES OF A SHEARWALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.

2 SHEARWALL TABLE AND NOTES N.T.S.

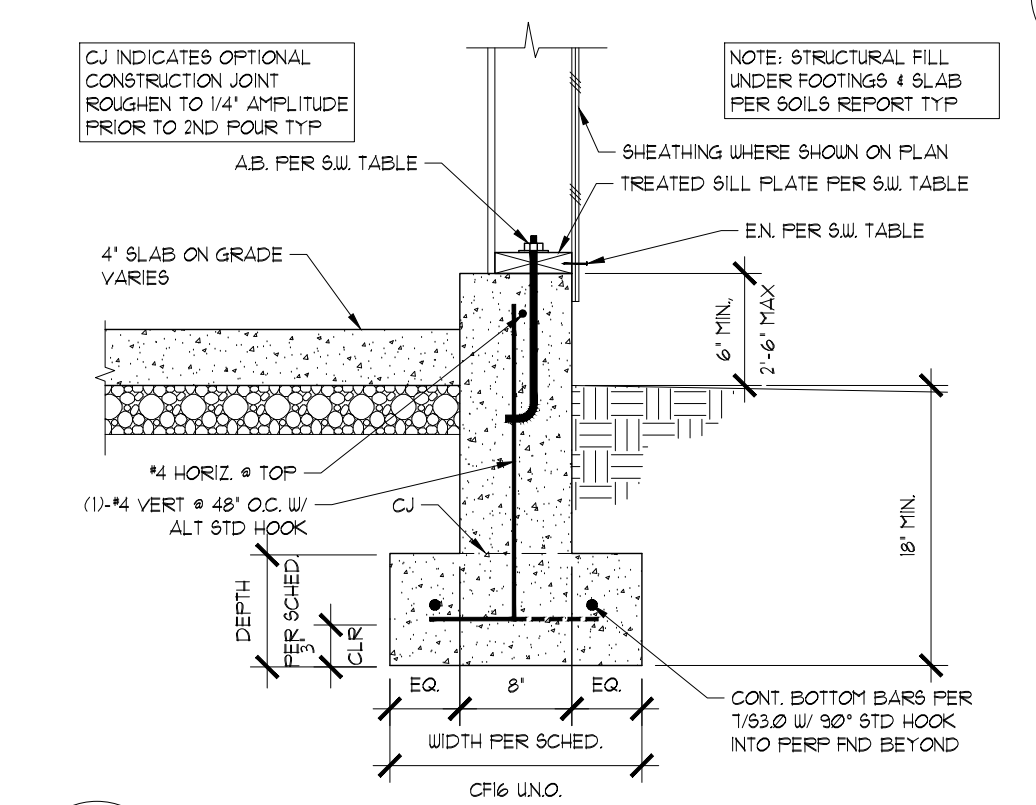


1 WALL CONSTRUCTION N.T.S.

11 SECTION @ DOORWAY N.T.S.

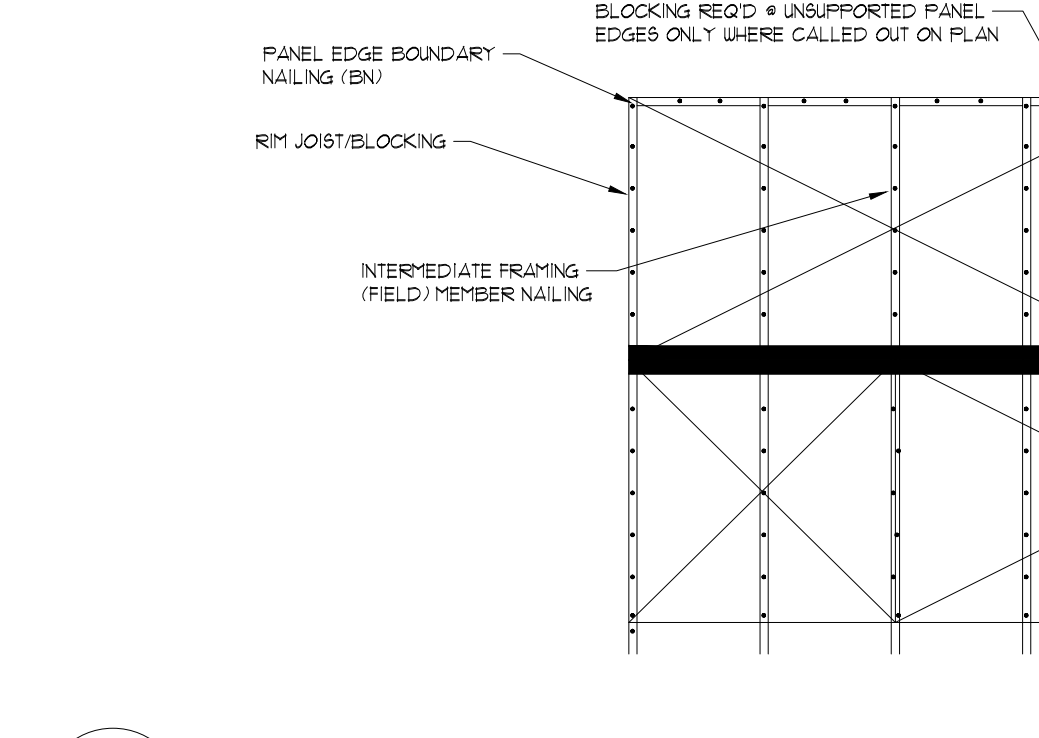


11 SECTION @ DOORWAY N.T.S.



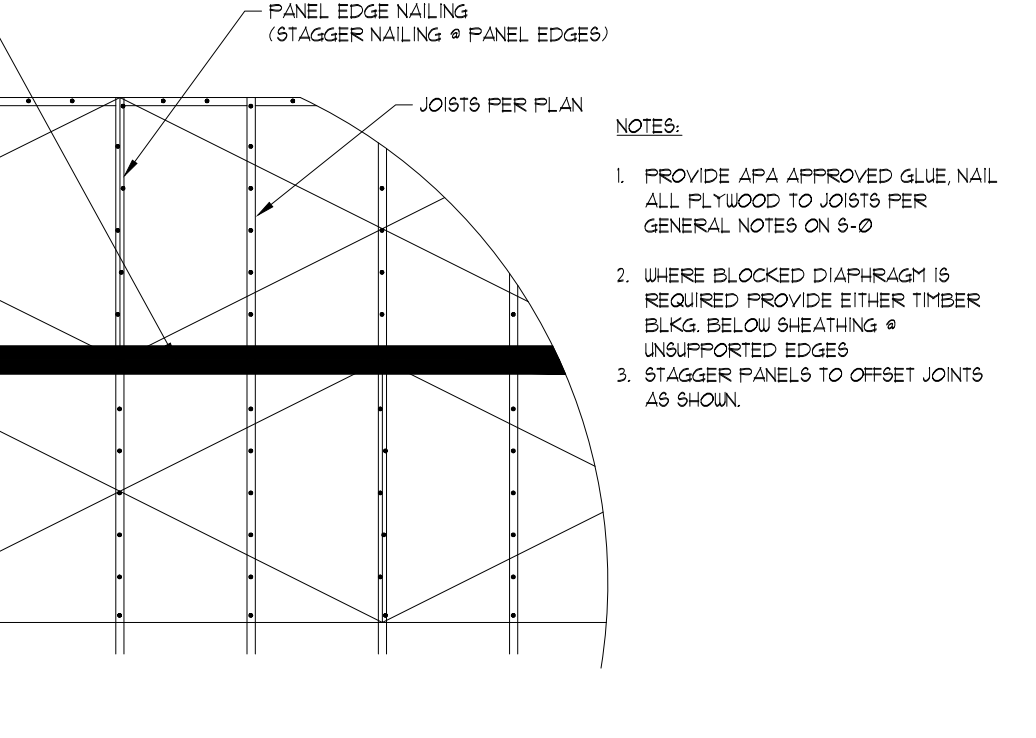
10 TYP. EXTERIOR FOUNDATION @ GARAGE N.T.S.

7 THCKND SLAB EDGE @ GARAGE/PATIO N.T.S.



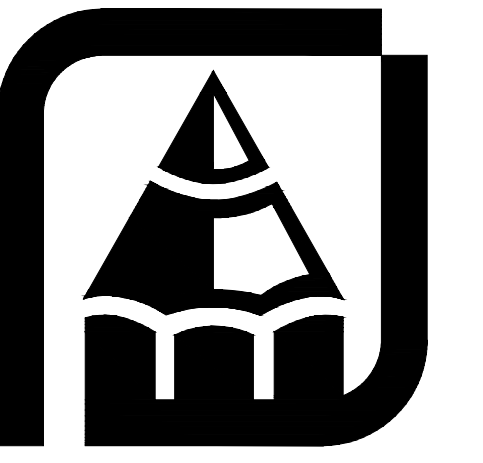
7 THCKND SLAB EDGE @ GARAGE/PATIO N.T.S.

4 CONTINUOUS FOOTING SCHEDULE N.T.S.



4 CONTINUOUS FOOTING SCHEDULE N.T.S.

1 WALL CONSTRUCTION N.T.S.



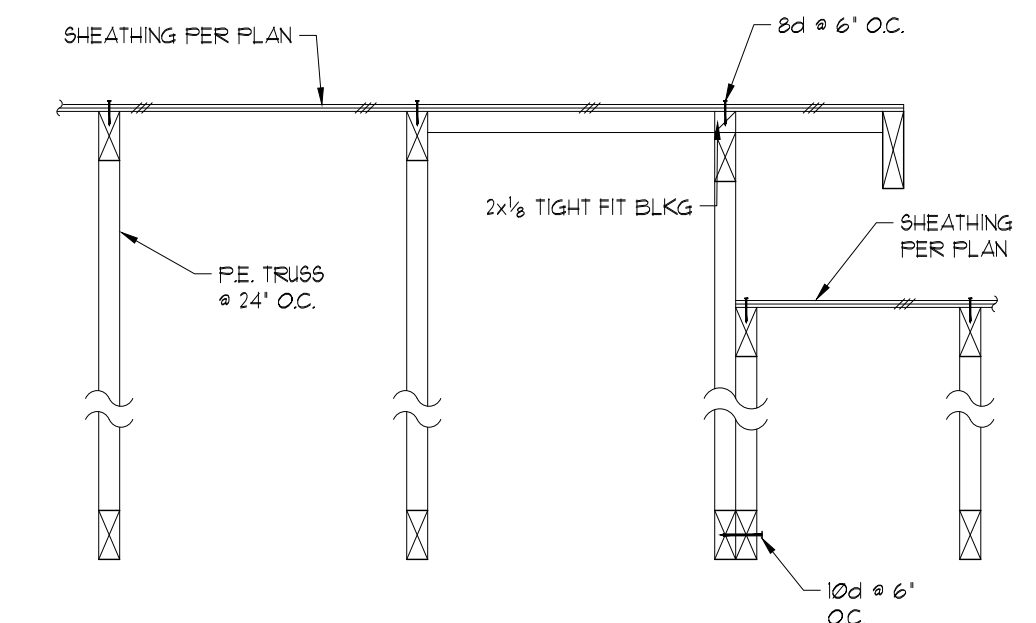
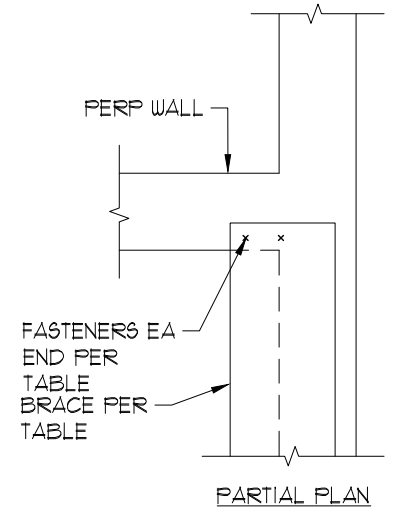
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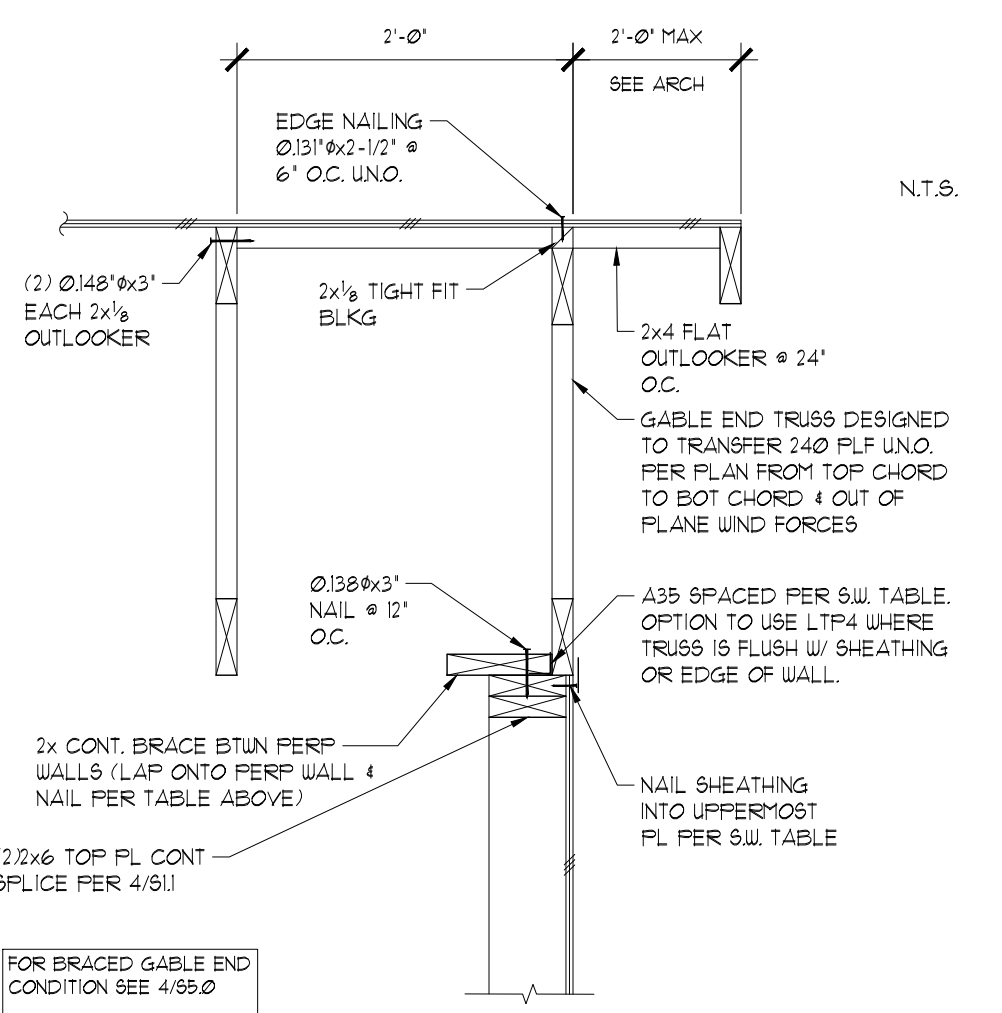
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Plan: G-720
 Job#: Li, Deborah
 Date: 10/29/24
 Revision Date: 03/28/25
 Drawn by: BP
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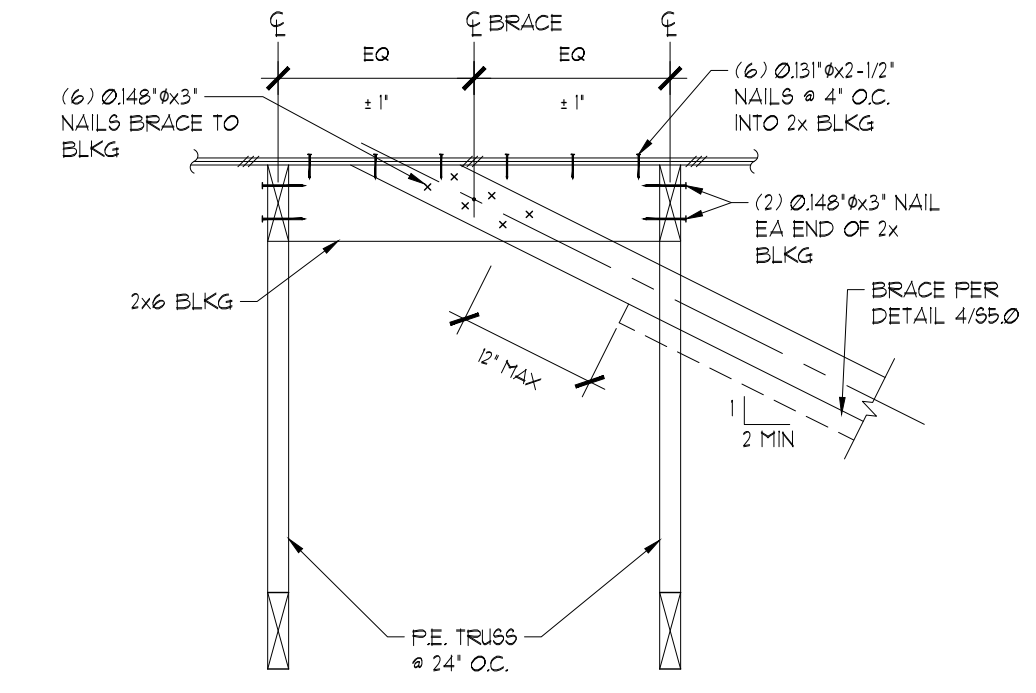
DFP BRACE	MAX LENGTH	END TO 1 WALL
2x4	5'	(2)-10d
2x6	8'-3"	(3)-10d
2x8	9'-6"	(4)-10d
2x10	13'-6"	(5)-10d
2x12	9'-6"	(6)-10d
2x4	11'-9"	(7)-10d



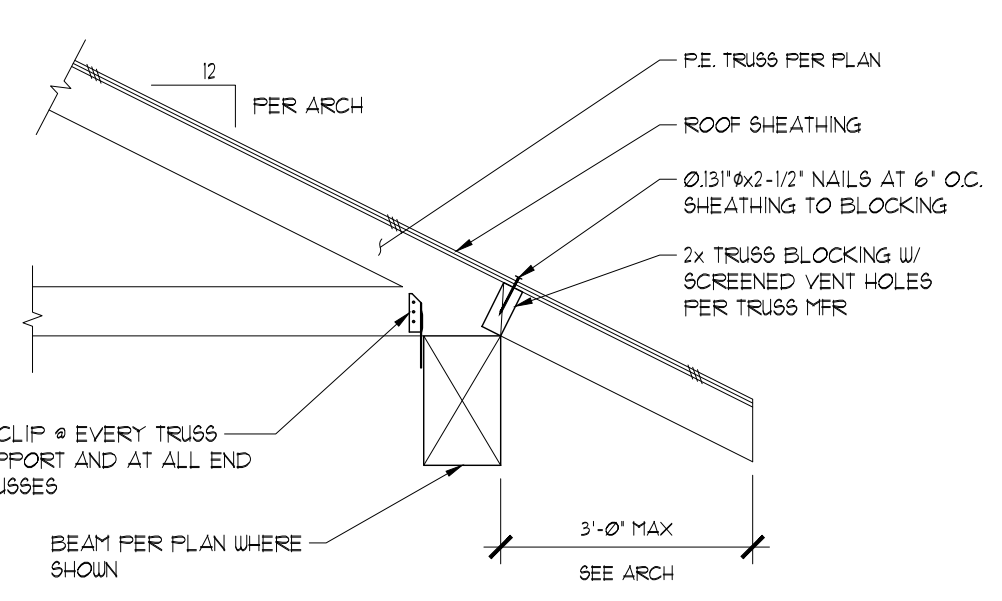
6 ROOF FRAMING - TRUSSES N.T.S.



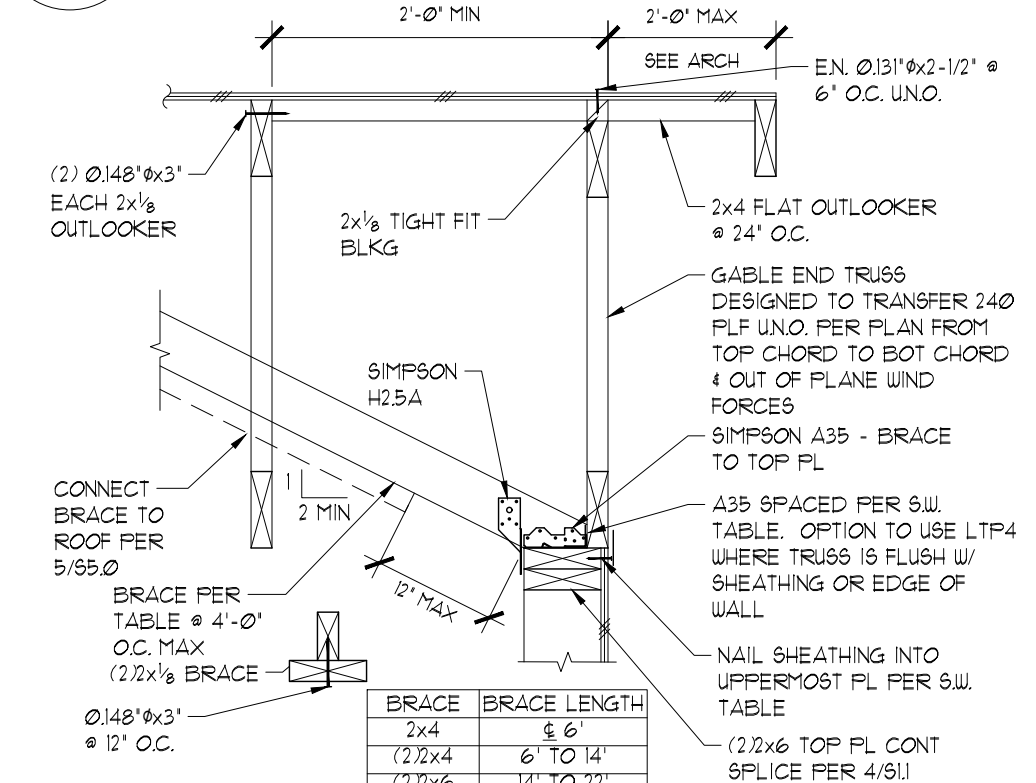
3 ROOF FRAMING - TRUSSES N.T.S.



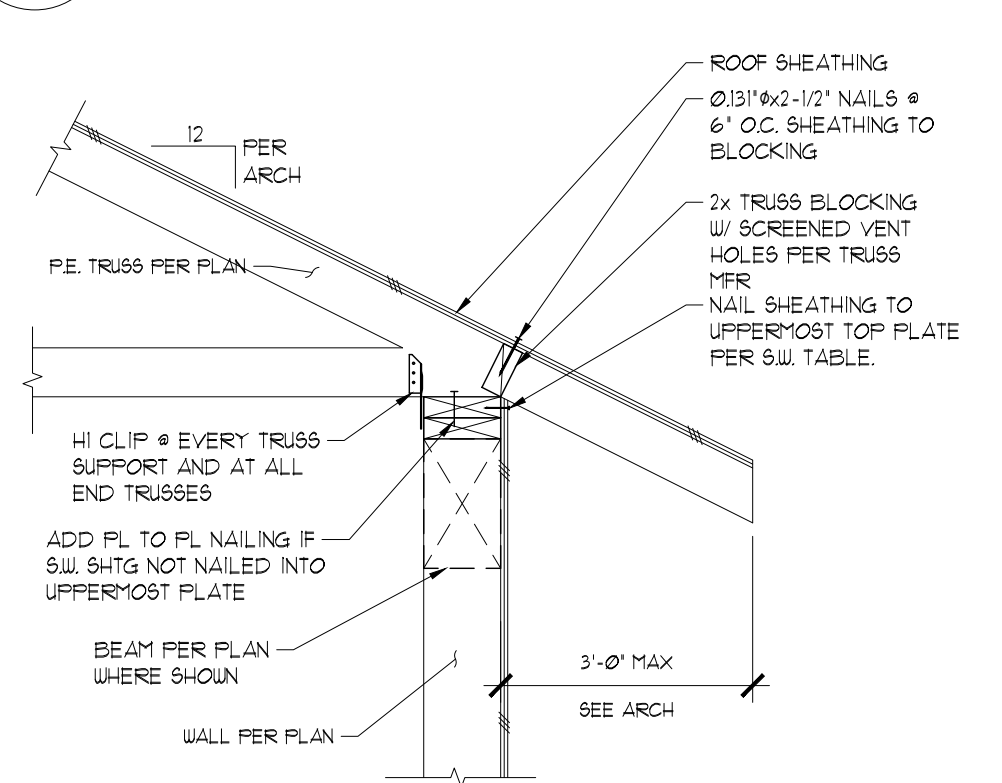
5 ROOF FRAMING - TRUSSES N.T.S.



2 ROOF FRAMING - TRUSSES N.T.S.



4 ROOF FRAMING - TRUSSES N.T.S.



1 ROOF FRAMING - TRUSSES N.T.S.

BRACE	BRACE LENGTH
2x4	5'
(2)-2x4	6'-10"
(2)-2x6	11'-10"